



TWO RIVERS PUBLIC SCHOOLS

Proudly serving our Lakeshore Community.

FACILITIES ASSESSMENT REPORT

08.19.21



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Summary of Maintenance Needs
Facilities Maintenance List
Photo Narrative of Needed Repairs





Two Rivers School District Facilities Assessment July 2021

Summary of Maintenance Needs

2021 Two Rivers Public Schools Facility Assessment Summary				
Building	1 year (w/ inflation)	2-5 years (w/ inflation)	6-10 years (w/ inflation)	Subtotal
Magee Elementary School	\$ 257,684	\$ 1,951,116	\$ -	\$ 2,208,800
Koenig Elementary School	\$ 26,250	\$ 2,999,974	\$ -	\$ 3,026,224
L.B. Clarke Middle School	\$ 28,868	\$ 5,158,861	\$ -	\$ 5,187,729
Two Rivers High School	\$ 602,878	\$ 5,480,339	\$ -	\$ 6,083,218
Maintenance Building	\$ -	\$ 179,707	\$ -	\$ 179,707
	\$ 915,681	\$ 15,769,997	\$ -	\$ 16,685,679

General Observations:

1. The budgets developed for this report are for the purposes of prioritizing and decision making. Due to the nature of the items observed, the full extent of repair and/or replacement cannot be ascertained without deconstructing spaces in which they were found. Upon prioritization of issues to be resolved, we will investigate fully and provide complete engineered solutions with finalized costs for final review/approval. During inspection spaces were not inspected for Hazardous Materials such as lead paint, asbestos, etc. CG Schmidt, Inc. has made every reasonable effort to review the spaces available to us and to assign budgets that reflect cosmetic solution for the items found.
2. Costs associated with all items marked as being included in the district maintenance plan are not included in assessment pricing provided.



MAGEE ELEMENTARY SCHOOL

Facilities Assessment

July 2021

Year Built: 1961, Addition 1963



Building Sizes: Approximately 64,692 square feet

Current Enrollment: 435

Grade Levels: Pre-K – 4TH

GENERAL COMMENTS FACILITIES

Overall, the building is in good condition. The envelope requires minor correction.

The roof is a Duro-Last membrane that is approximately 2 years old, and it appears to be in good condition. The bottom of the roof overhang is rotted and needs to be replaced. There are some areas on the parapet wall where the membrane is loose, but this shouldn't be a big concern. If maintained properly, the roof should last another 15 years.

The asphalt is good shape.

One of the common issues in the interior include stained ceiling tiles, cracked wall base, and all interior windows needing caulk.

The school is not protected by wet pipe sprinkler system. If a future renovation project touches over 50% of the overall square footage a new wet pipe sprinkler system may be required for the entire school.



Two Rivers Public Schools Facilities Assessment July 2021



Overall plumbing system is in good shape. Bathrooms are ADA compliant and have been recently updated with automatic sensors on plumbing fixtures, automatic hand driers, mirrors, and dividers. Domestic hot water heaters are in good shape.

HVAC hot water boiler plant is newer as well as classroom unit vents. The school has two older Air Handling Units and should consider replacing with maintenance friendly options. Air conditioning should be provided in IT closets. We also recommend adding air conditioning to spaces that are currently not air conditioned.

Electrical service is original to the building and overall is almost at maximum capacity. Upgrading electrical service will be needed for renovation project. Lighting should be upgraded to energy efficient LED fixtures. IT cabling and proper labeling should be addressed. Some low voltage systems like security and phone/PA systems are becoming dated due to advances in technology and should consider upgrades. New voice over evac fire alarm should be added to the entire school.



Magee Elementary School Facilities Assessment July 2021



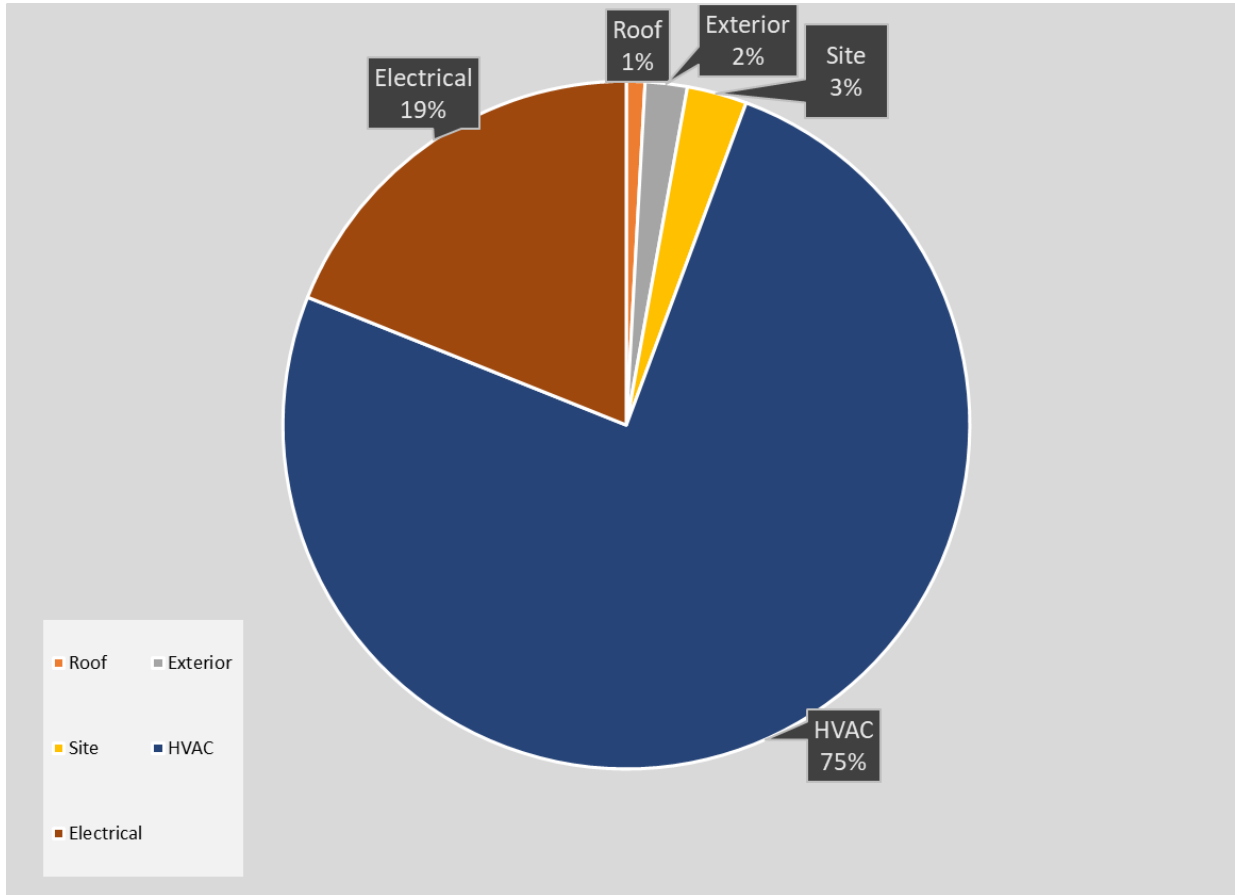
Summary of Maintenance Needs

2021 Facility Assessment Summary				
Building System	1 year (w/ inflation)	2-5 years (w/ inflation)	6-10 years (w/ inflation)	Subtotal
General Building Issues	\$ -	\$ -	\$ -	\$ -
Roofing Issues	\$ -	\$ 19,254	\$ -	\$ 19,254
Exterior Issues	\$ 43,755	\$ -	\$ -	\$ 43,755
Site/Parking Lot Issues	\$ -	\$ 62,330	\$ -	\$ 62,330
Fire Protection Issues	\$ -	\$ -	\$ -	\$ -
Plumbing Issues	\$ -	\$ -	\$ -	\$ -
Mechanical Issues	\$ 12,584	\$ 1,652,551	\$ -	\$ 1,665,135
Electrical Issues	\$ 201,345	\$ 216,981	\$ -	\$ 418,327
SUM BUILDING	\$ 257,684	\$ 1,951,116	\$ -	\$ 2,208,800

General Observations:

1. The budgets developed for this report are for the purposes of prioritizing and decision making. Due to the nature of the items observed, the full extent of repair and/or replacement cannot be ascertained without deconstructing spaces in which they were found. Upon prioritization of issues to be resolved, we will investigate fully and provide complete engineered solutions with finalized costs for final review/approval. During inspection spaces were not inspected for Hazardous Materials such as lead paint, asbestos, etc. CG Schmidt, Inc. has made every reasonable effort to review the spaces available to us and to assign budgets that reflect cosmetic solution for the items found.

Summary of Maintenance Needs





**2021 TWO RIVERS PUBLIC SCHOOLS
 FACILITIES ASSESSMENT
 3502 Glenwood Street
 Magee Elementary School
 July 2021**



		2%	2022	2023-2026	2027-2031
Item #	Description	Year (w/ 2% inflation)	1 Year	2-5 Years	6-10 Years
General Building Replacement or Repairs					
G1 - G98 Included in district maintenance plan					
Roof Replacement or Repairs					
R1	Duro-last roof installed two years ago.	0	\$ -	\$ -	\$ -
R2	Roof holds debris.	2023	\$ -	\$ 19,254	\$ -
Site Replacement or Repairs					
S1	Cracked concrete	2023	\$ -	\$ 796	\$ -
S2	Cracked concrete	2023	\$ -	\$ 5,699	\$ -
S3	Cracked concrete	2023	\$ -	\$ 2,850	\$ -
S4	Cracked side walk concrete	2023	\$ -	\$ -	\$ -
S5	Cracked concrete	2023	\$ -	\$ 52,986	\$ -
S6	Asphalt is in good shape and has minimal cracking.	0	\$ -	\$ -	\$ -
Exterior Replacement or Repairs					
X4	Bottom of roof overhang is rotted around the entire exterior of building	2022	\$ 2,215	\$ -	\$ -
X11	Rotted soffit	2022	\$ 12,584	\$ -	\$ -
X19	Rotted wood at overhang	2022	\$ 2,215	\$ -	\$ -
X24	Rotted soffit	2022	\$ 6,418	\$ -	\$ -
X26	Wood soffit is rotted	2022	\$ 6,418	\$ -	\$ -
X27	Rotted soffit	2022	\$ 3,209	\$ -	\$ -
X29	Soffit is rotted	2022	\$ 4,279	\$ -	\$ -
X32	Damaged wood soffit	2022	\$ 6,418	\$ -	\$ -
Fire Protection Replacement or Repairs					
F1 Included in district maintenance plan					
Mechanical/HVAC Replacement or Repairs					
M1	Add AC to IT closet	2022	\$ 12,584	\$ -	\$ -
M2	Replace AHUs (2)	2026	\$ -	\$ 149,836	\$ -
M3	Exhaust fan maintenance	2026	\$ -	\$ 27,243	\$ -
M4	Add air conditioning to entire building	2025	\$ -	\$ 1,475,472	\$ -



**2021 TWO RIVERS PUBLIC SCHOOLS
 FACILITIES ASSESSMENT
 3502 Glenwood Street
 Magee Elementary School
 July 2021**



		2%	2022	2023-2026	2027-2031
Item #	Description	Year (w/ 2% inflation)	1 Year	2-5 Years	6-10 Years
Electrical Replacement or Repairs					
E2	Upgrade incoming electrical power	2022	\$ 106,965	\$ -	\$ -
E3	Upgrade fiber cabling in school	2022	\$ 69,212	\$ -	\$ -
E4	Cable labeling	2022	\$ 25,168	\$ -	\$ -
E6	Replace fire alarm system	2025	\$ -	\$ 216,981	\$ -
Magee Elementary School Total		w/ Inflation:	\$ 257,684	\$ 1,951,116	\$ -

Key

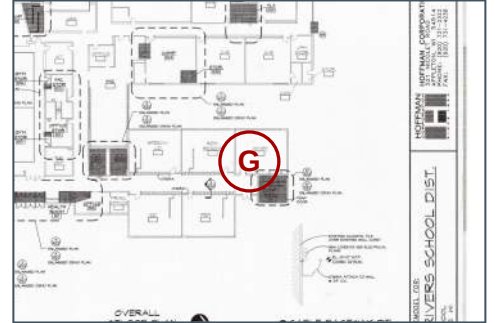
- G General Building Issues
- R Roofing Issues
- X Exterior Issues
- S Site Work Issues
- F Fire Protection Issues
- P Plumbing Issues
- M Mechanical Issues
- E Electrical Issues

G1: General

Description: Floor has cracks

Sheet
A2.0

Photos

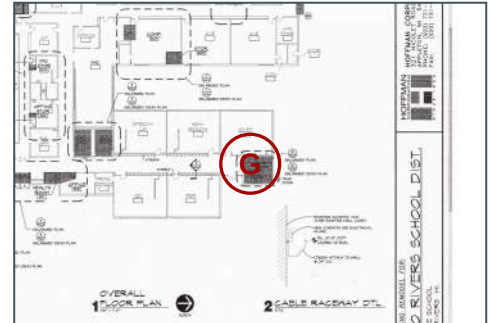


G2: General

Description: Damaged ACT

Sheet
A2.2

Photos

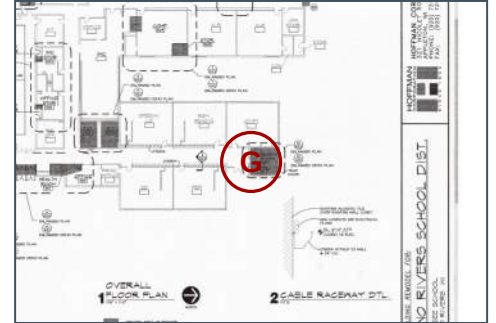


G3: General

Description: Cracked floor

Sheet
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Photos

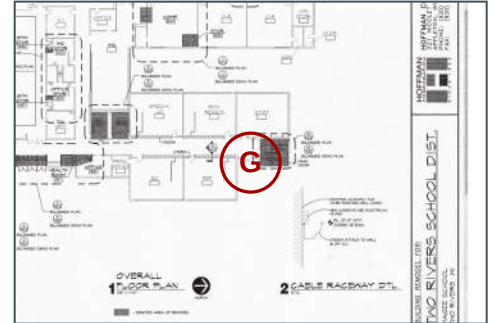


G4: General

Description: Cracked concrete

Sheet
A2.1

Photos

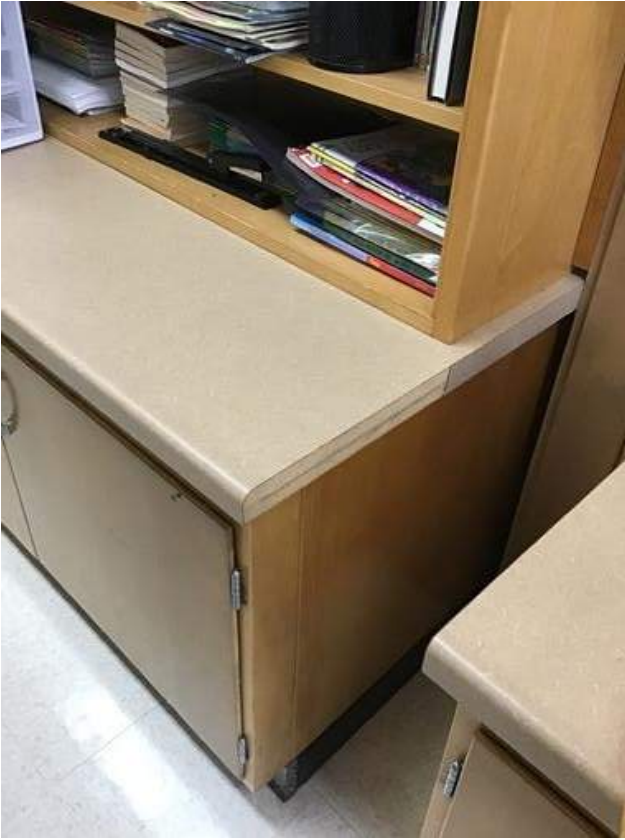


G5: General

Description: Missing P-Lam on counter top

Sheet
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Photos

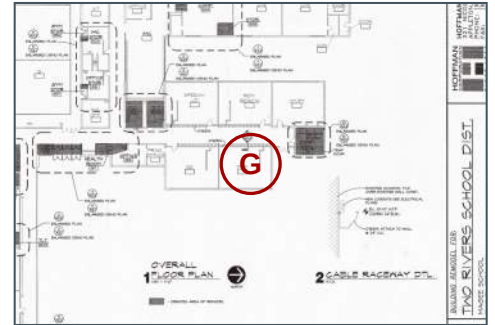


G6: General

Description: Stained ceiling

Sheet
A2.0

Photos

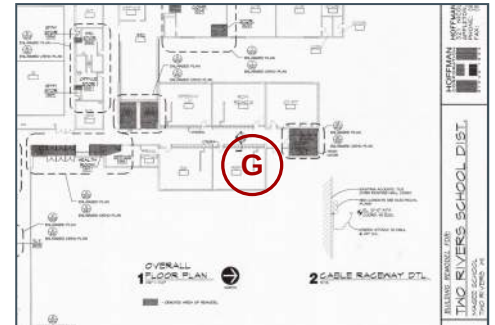


G7: General

Description: Window needs caulking

Sheet
A2.0

Photos



G8: General

Description: Missing wall base

Sheet
A2.0

Photos



G9: General

Description: Stained wood floor and missing wall base

Sheet
A2.0

Photos



G10: General

Description: Damaged ACT

Sheet
A2.0

Photos



G11: General

Description: Rusted lockers

Sheet
A2.0

Photos



G12: General

Description: Windows need to be caulked

Sheet
A2.0

Photos



G13: General

Description: Window needs to be caulked

Sheet
A2.0

Photos

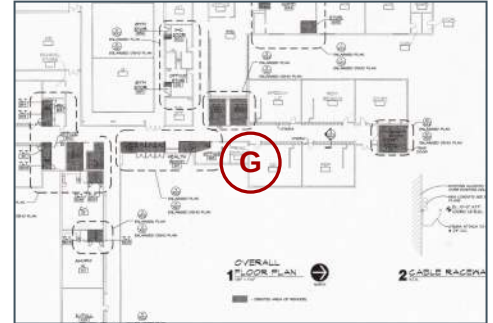


G14: General

Description: Cracked wall base

Sheet
A2.0

Photos



G15: General

Description: Stained ACT

Sheet
A2.0

Photos



G16: General

Description: Scratched door

Sheet
A2.0

Photos



G17: General

Description: Wall cracks in CMU

Sheet
A2.0

Photos



G18: General

Description: Damaged ACT

Sheet
A2.0

Photos



G19: General

Description: Damaged floor and wall

Sheet
A2.0

Photos



G20: General

Description: Scratched door

Sheet
A2.0

Photos



G21: General

Description: Paint peeling off wall

Sheet
A2.0

Photos



G22: General

Description: Paint peeling off ceiling

Sheet
A2.0

Photos

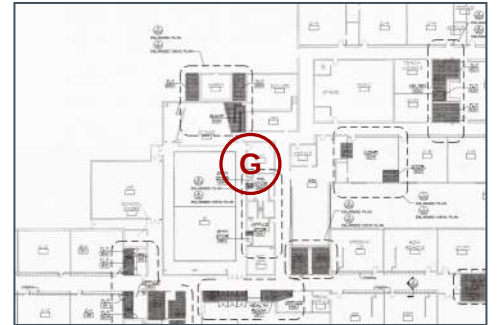


G23: General

Description: Wall damages

Sheet
A2.0

Photos



G24: General

Description: Scratched casework

Sheet
A2.0

Photos



G25: General

Description: Ceiling cracked and paint is peeling

Sheet
A2.0

Photos



G26: General

Description: Wall scratches and holes in ceiling

Sheet
A2.0

Photos



G27: General

Description: Damaged casework and stained floor

Sheet
A2.0

Photos

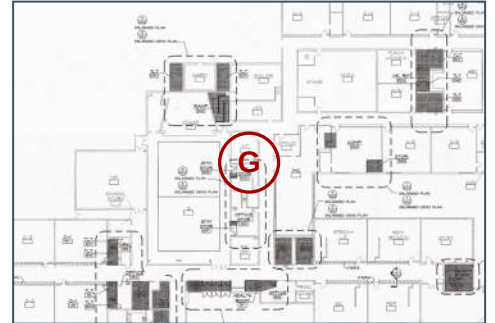


G28: General

Description: Wall crack

Sheet
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Photos

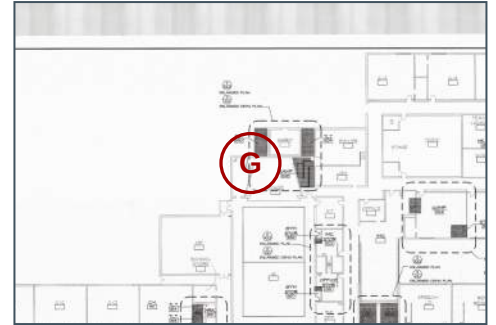


G29: General

Description: Paint needed above door

Sheet
A2.0

Photos



G30: General

Description: Missing and stained ceiling

Sheet
A2.0

Photos



G31: General

Description: Missing and stained ceiling

Sheet
A2.0

Photos



G32: General

Description: Stained wood floor and scratched tiles

Sheet
A2.0

Photos



G33: General

Description: Scratched door

Sheet
A2.0

Photos



G34: General

Description: Stained floor

Sheet
A2.0

Photos

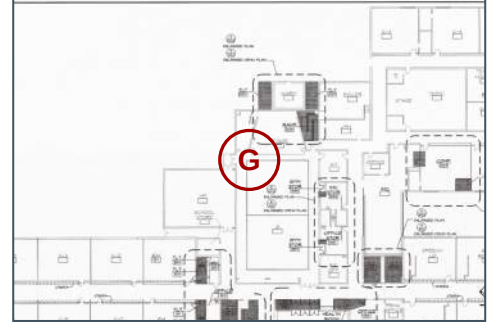


G35: General

Description: Stains at bottom of stage

Sheet
A2.0

Photos



G36: General

Description: Caulking needed at window

Sheet
A2.0

Photos

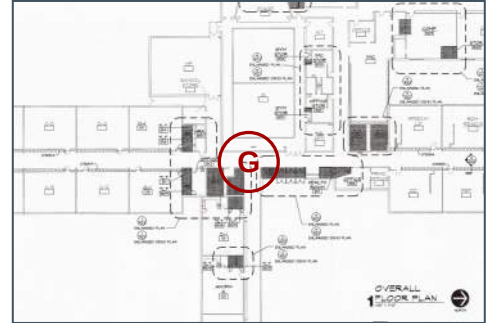


G37: General

Description: Broken and cracked wall tile

Sheet
A2.0

Photos



G38: General

Description: Floor cracks

Sheet
A2.0

Photos



G39: General

Description: Caulking at urinals and stained floor

Sheet
A2.0

Photos



G40: General

Description: Stained bathroom walls

Sheet
A2.0

Photos



G41: General

Description: Floor and wall cracks

Sheet
A2.0

Photos



G42: General

Description: Wall cracks and holes in tile wall

Sheet
A2.0

Photos



G43: General

Description: Stained wood floor

Sheet
A2.0

Photos



G44: General

Description: Stained wood floor and cracked wall base

Sheet
A2.0

Photos



G45: General

Description: Needs caulking

Sheet
A2.0

Photos

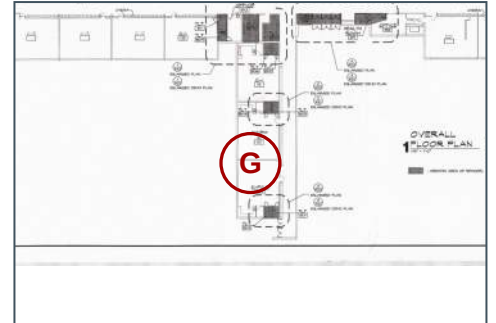


G46: General

Description: Window frame needs caulking

Sheet
A2.0

Photos

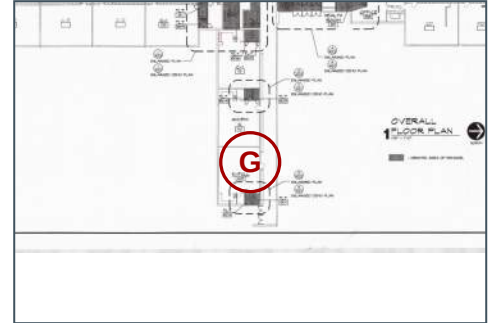


G47: General

Description: Hole in wall needs to be finished

Sheet
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Photos

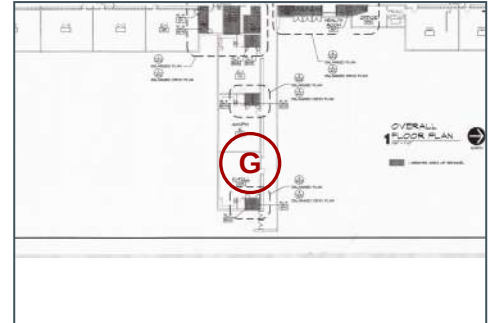


G48: General

Description: Cracked tile base

Sheet
A2.1

Photos



G49: General

Description: Refinish needed at wall and ceiling

Sheet
A2.0

Photos



G50: General

Description: Damaged ceiling tile

Sheet
A2.0

Photos

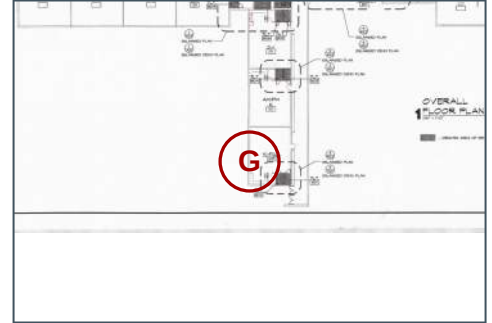


G51: General

Description: Damaged casework

Sheet
A2.0

Photos

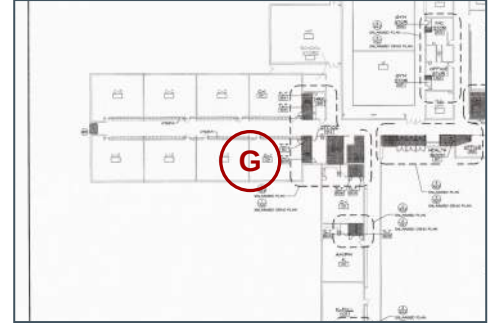


G52: General

Description: Cracked floor tile

Sheet
A2.0

Photos

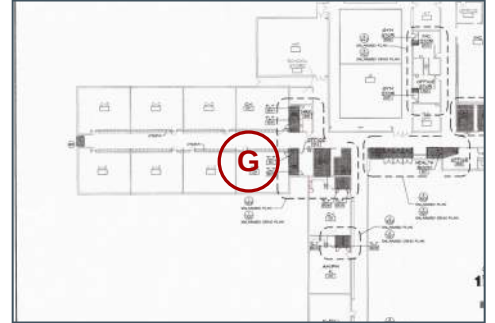


G53: General

Description: Stained carpet

Sheet
A2.0

Photos



G54: General

Description: Wall scratches

Sheet
A2.0

Photos

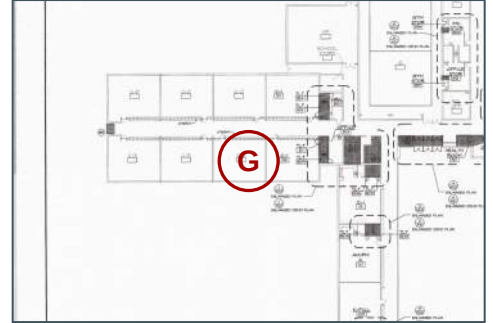


G55: General

Description: Bent and damaged wall, area needs painting

Sheet
A2.0

Photos



G56: General

Description: Damaged wood ceiling

Sheet
A2.0

Photos



G57: General

Description: Wood casework in the hallway needs rework

Sheet
A2.0

Photos

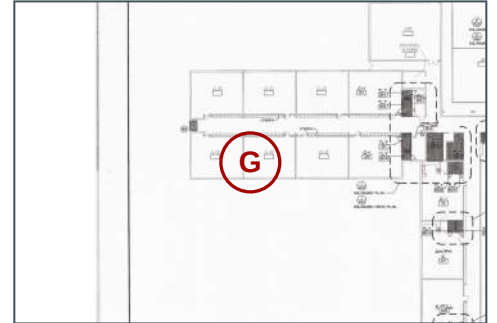


G58: General

Description: Scratched cabinetry

Sheet
A2.0

Photos



G59: General

Description: Stained ACT

Photos

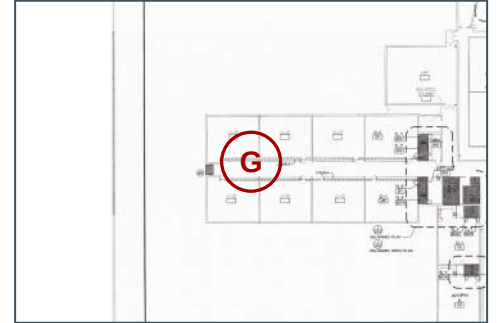


G60: General

Description: Update seats

Sheet
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Photos

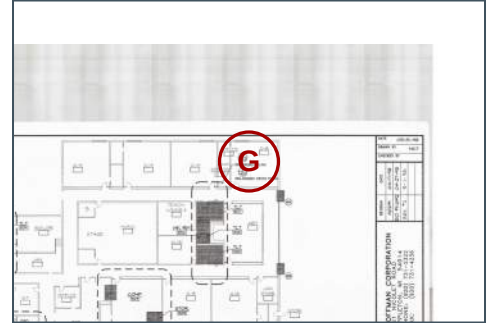


G61: General

Description: Window needs caulk

Sheet
A2.0

Photos



G62: General

Description: Door is short for opening

Sheet
A2.0

Photos



G63: General

Description: Crack in wall

Sheet
A2.0

Photos

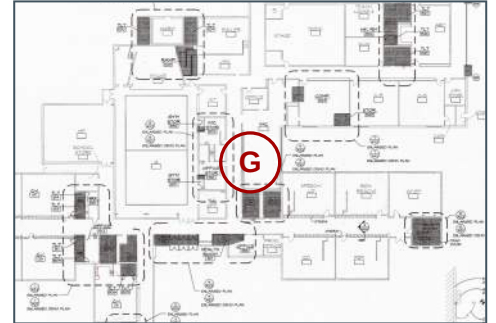


G64: General

Description: Hole in top of brick wall

Sheet
A2.0

Photos



G65: General

Description: Scratched cabinetry

Sheet
A2.0

Photos



G66: General

Description: Cracks in floor

Sheet
A2.0

Photos

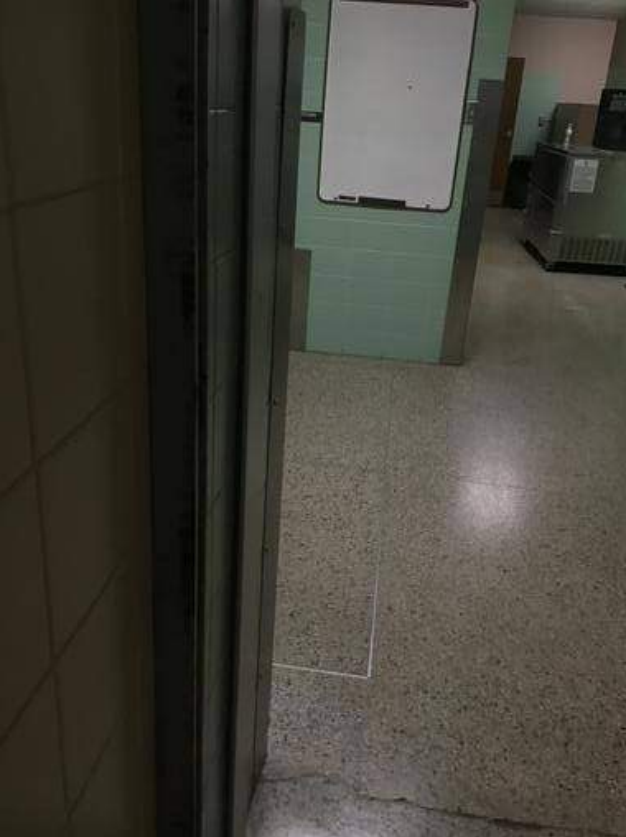


G67: General

Description: Crack in floor

Sheet
A2.0

Photos



G68: General

Description: Missing caulk around conduits

Sheet
A2.0

Photos

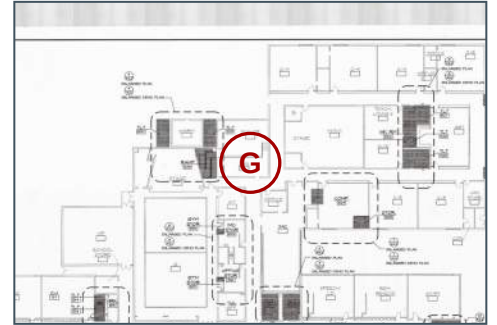


G69: General

Description: Crack in ceiling

Sheet
A2.0

Photos



G70: General

Description: Holes need to be filled and repainted

Sheet
A2.0

Photos



G71: General

Description: Stained ceiling

Sheet
A2.0

Photos

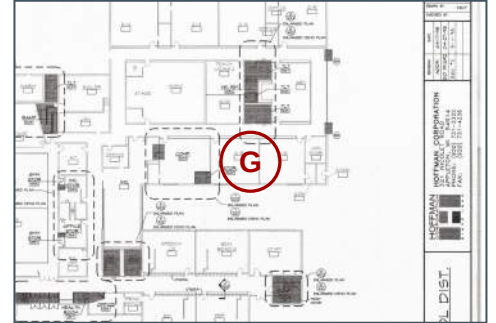


G72: General

Description: Cracks in floor

Sheet
A2.0

Photos



G73: General

Description: Window needs caulk

Sheet
A2.0

Photos



G74: General

Description: Cracks in the tile base

Sheet
A2.0

Photos

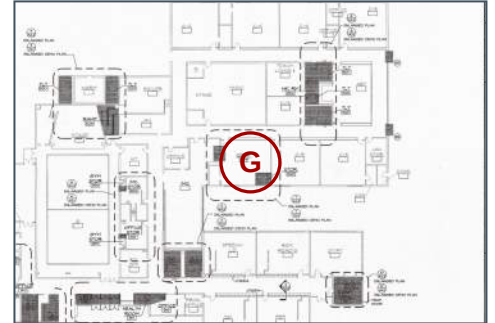


G75: General

Description: Stained carpet

Sheet
A2.0

Photos



G76: General

Description: Window needs caulk

Sheet
A2.0

Photos



G77: General

Description: Scratches on door

Sheet
A2.0

Photos

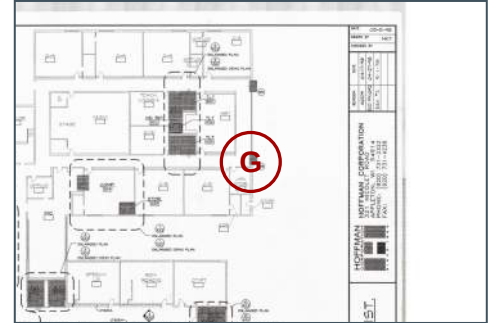


G78: General

Description: Scratches on door

Sheet
A2.0

Photos

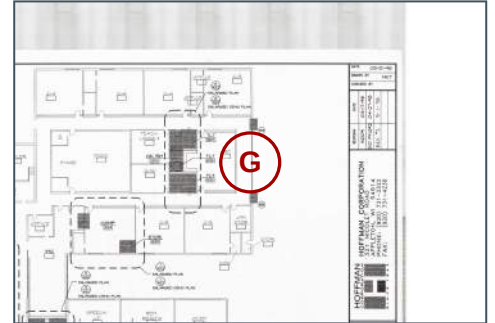


G79: General

Description: Windows need to be caulked

Sheet
A2.0

Photos



G80: General

Description: Cracks in tile base

Sheet
A2.0

Photos



G81: General

Description: Cracks in flooring

Sheet
A2.0

Photos

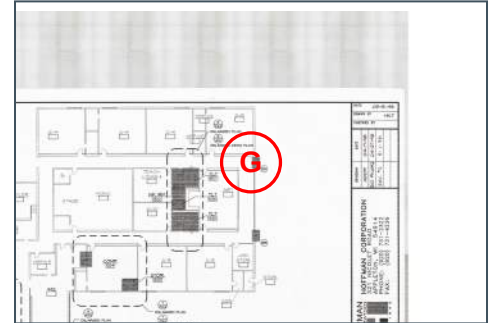


G82: General

Description: Scratches on door

Sheet
A2.0

Photos

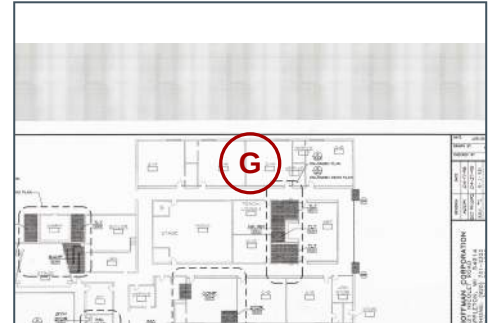


G83: General

Description: Cracks in tile base

Sheet
A2.0

Photos

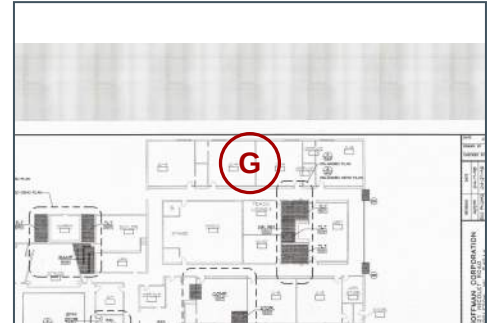


G84: General

Description: Cracks in tile base

Sheet
A2.0

Photos



G85: General

Description: Cracks in tile base

Sheet
A2.0

Photos

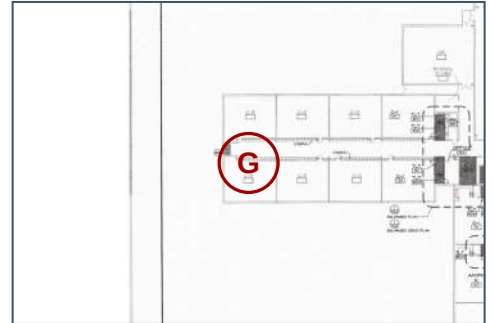


G86: General

Description: Cracks and holes in flooring

Sheet
A2.0

Photos

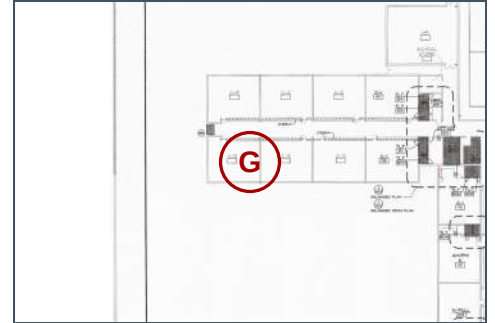


G87: General

Description: Scuffs in ceiling

Sheet
A2.0

Photos

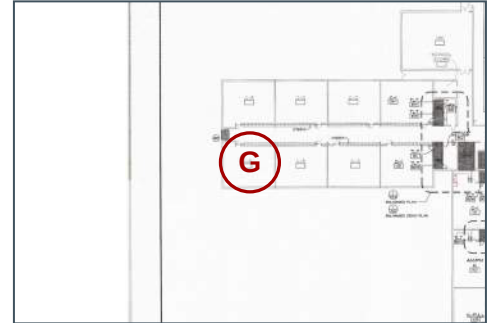


G88: General

Description: Gap in wood ceiling

Sheet
A2.0

Photos

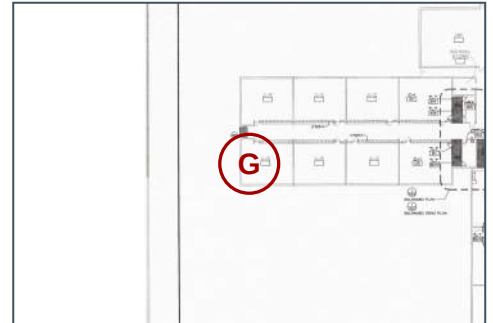


G89: General

Description: Cracked tile base

Sheet
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Photos

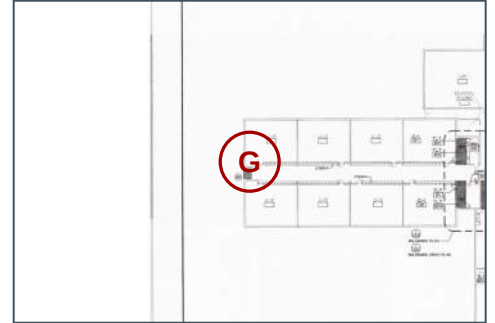


G90: General

Description: Stained ceiling

Sheet
A2.0

Photos

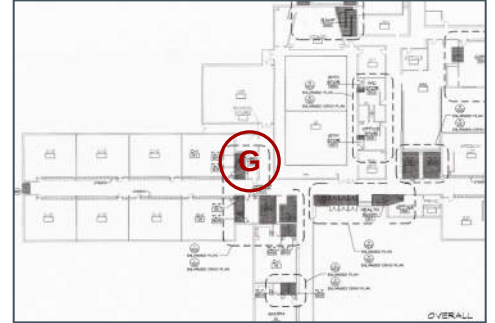


G91: General

Description: Stained ceiling

Sheet
A2.0

Photos



G92: General

Description: Stained ceiling

Sheet
A2.0

Photos

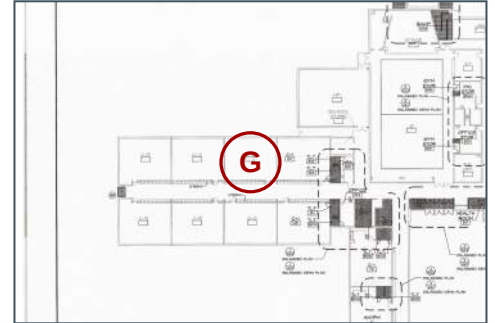


G93: General

Description: Window needs caulk

Sheet
A2.0

Photos

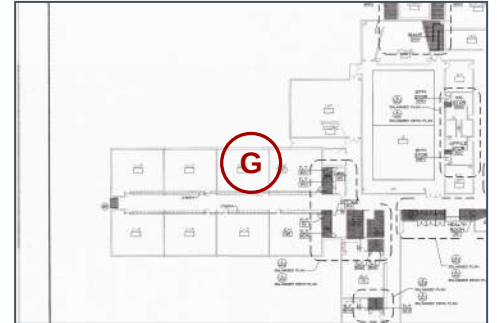


G94: General

Description: Stained ceiling

Sheet
A2.0

Photos

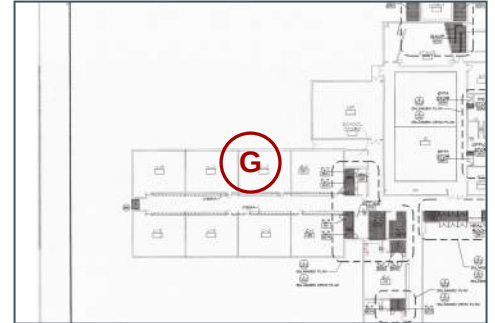


G95: General

Description: Hole in drywall

Sheet
A2.0

Photos

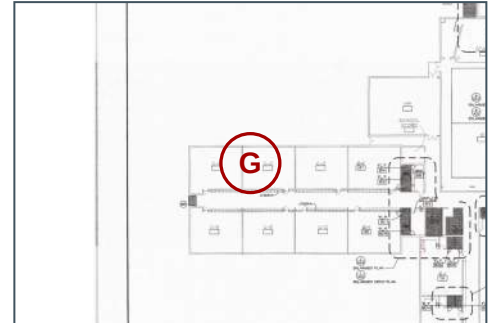


G96: General

Description: Cracks in floor

Sheet
A2.0

Photos



G97: General

Description: Tile base is chipped and cracked

Sheet
A2.0

Photos



G98: General

Description: Rusted door hinges

Sheet
A2.0

Photos



R1: Roof

Description: Duro-last roof installed two years ago

Photos



R2: Roof

Description: Roof holds debris

Photos

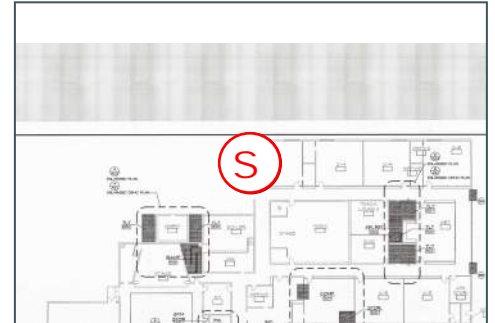


S1: Site Work

Description: Cracked concrete

Sheet
A2.0

Photos

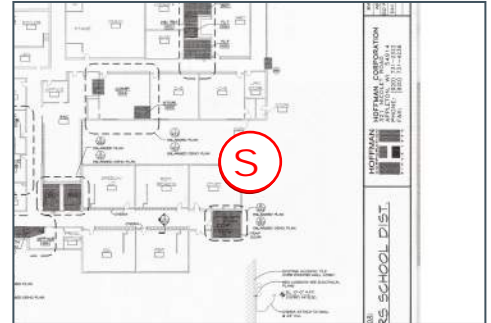


S2: Site Work

Description: Cracked concrete

Sheet
A2.0

Photos

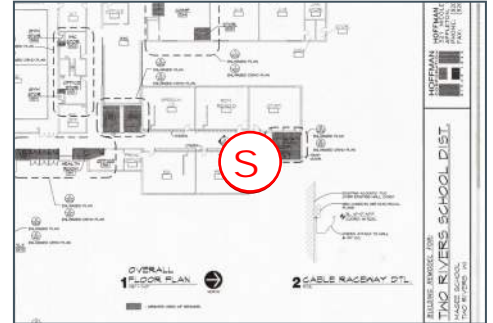


S3: Site Work

Description: Cracked concrete

Sheet
A2.0

Photos



S4: Site Work

Description: Cracked sidewalk concrete

Photos

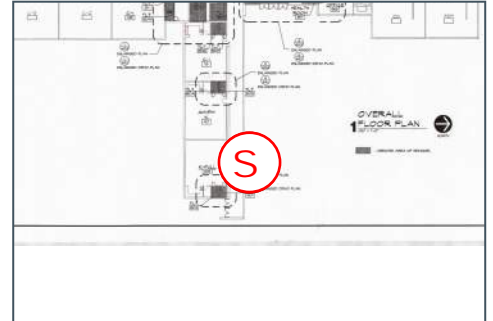


S5: Site Work

Description: Cracked concrete

Sheet
A2.0

Photos



S6: Site Work

Description: Asphalt is in good shape and has minimal cracking

Photos

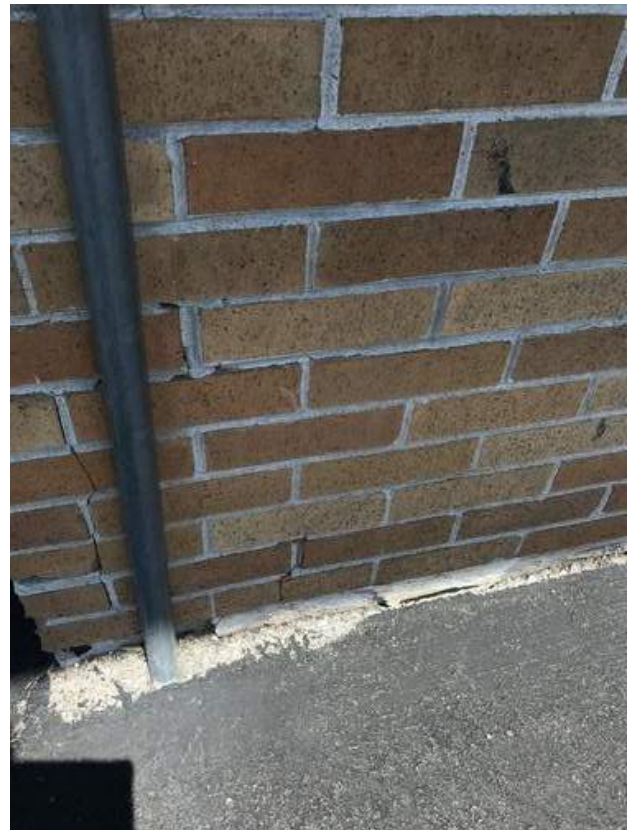
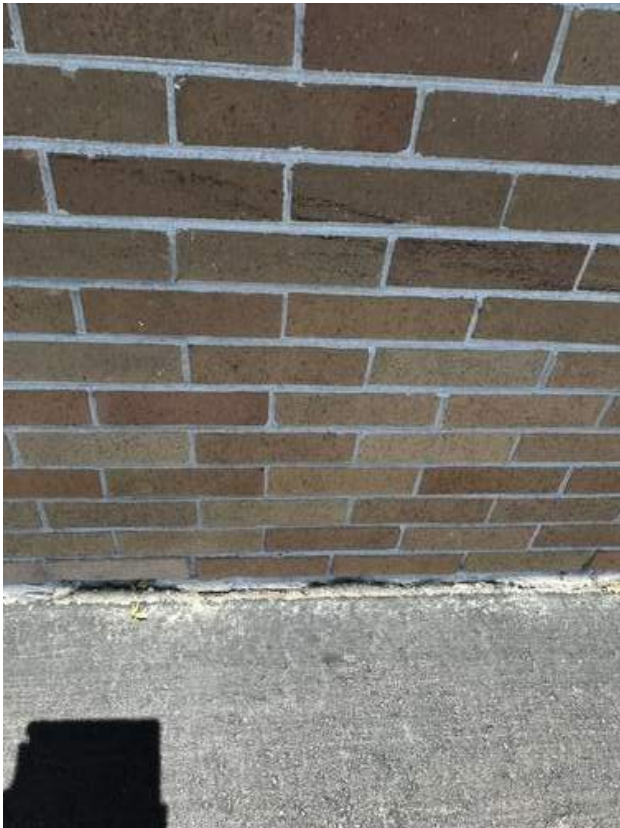


X1: Exterior

Description: Cracks in brick wall and missing mortar at base of wall

Sheet
A2.0

Photos

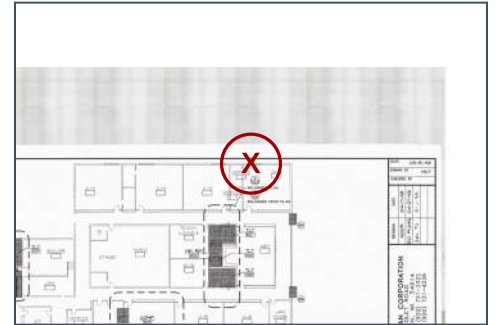


X2: Exterior

Description: Caulking needed at window

Sheet
A2.0

Photos



X3: Exterior

Description: Ceiling needs painting

Sheet
A2.0

Photos

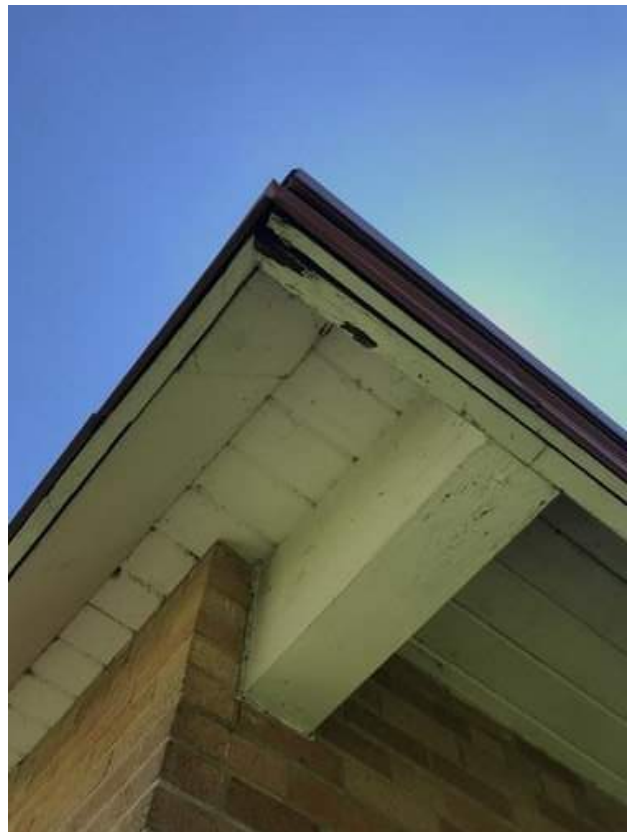
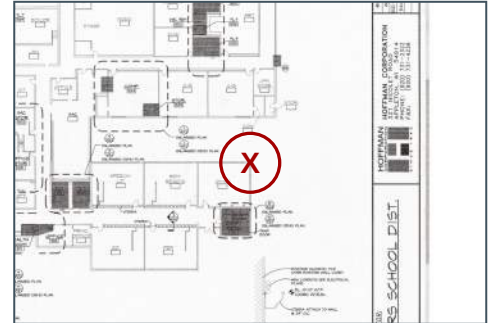


X4: Exterior

Description: Bottom of roof overhang is rotted around the entire exterior of building

Sheet
A2.0

Photos

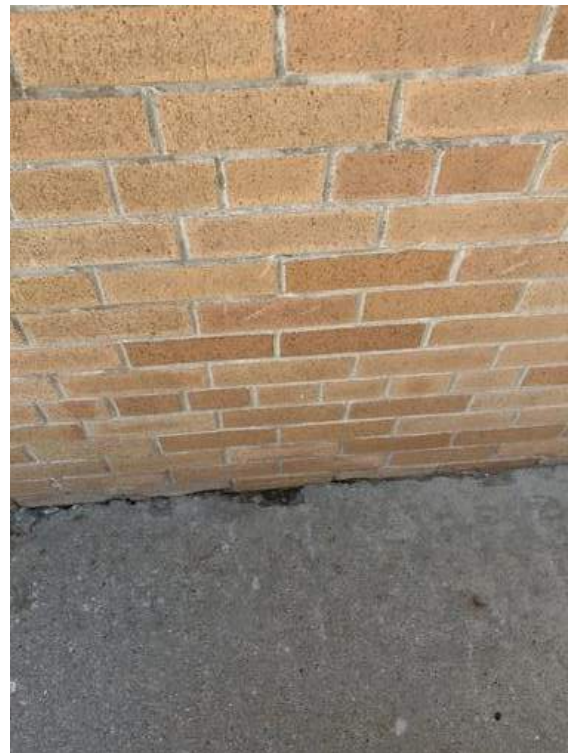
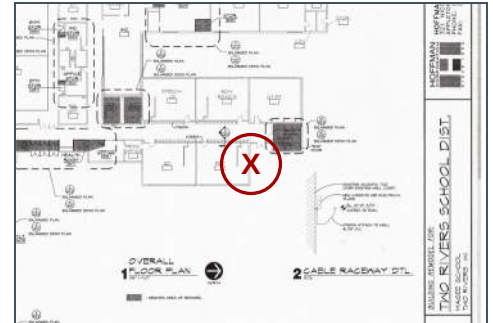


X5: Exterior

Description: Cracked concrete at base of wall

Sheet
A2.0

Photos

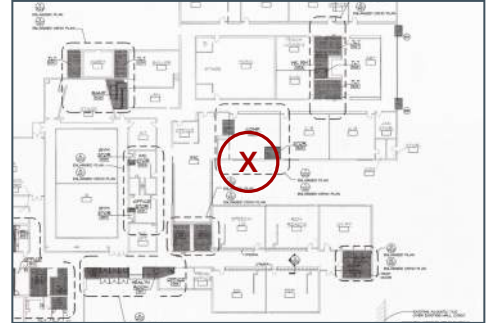


X6: Exterior

Description: Damaged window screens

Sheet
A2.0

Photos

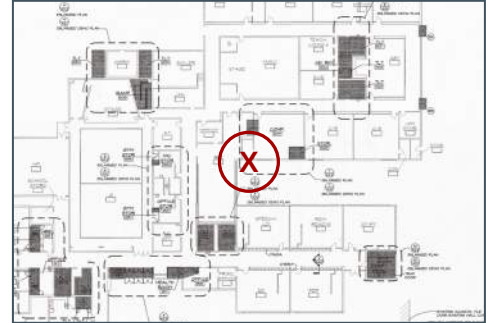


X7: Exterior

Description: Damaged brick

Sheet
A2.0

Photos

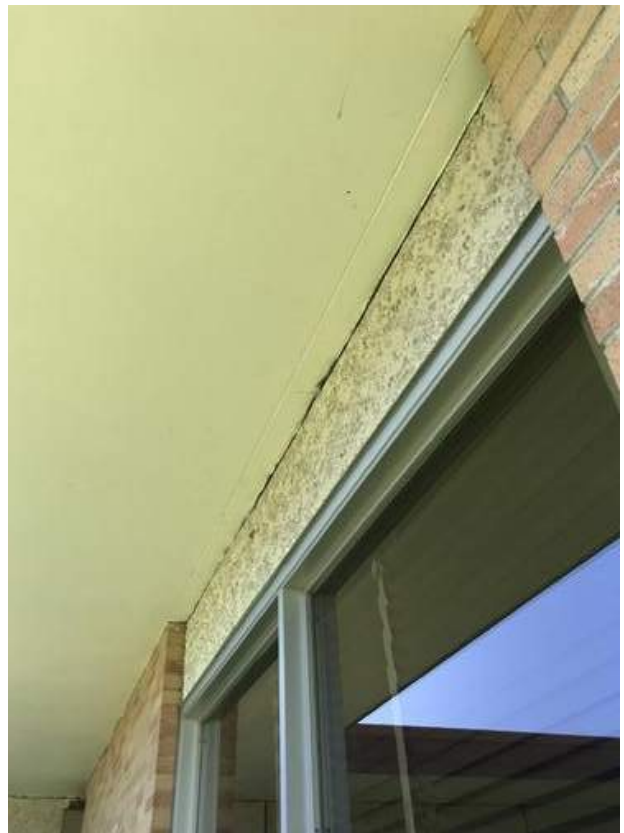
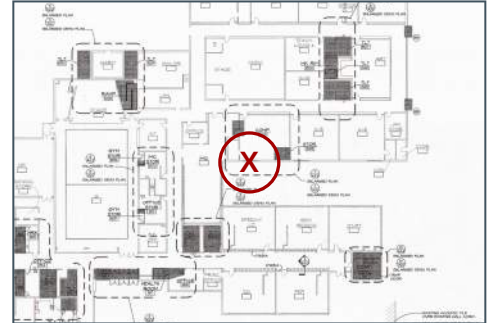


X8: Exterior

Description: Caulking needed

Sheet
A2.0

Photos

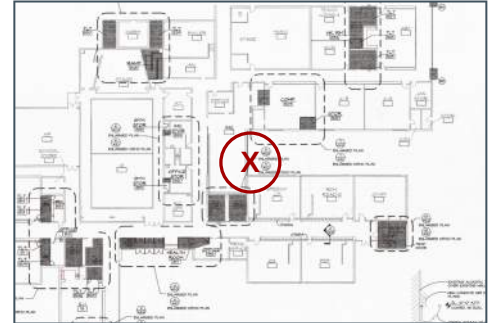
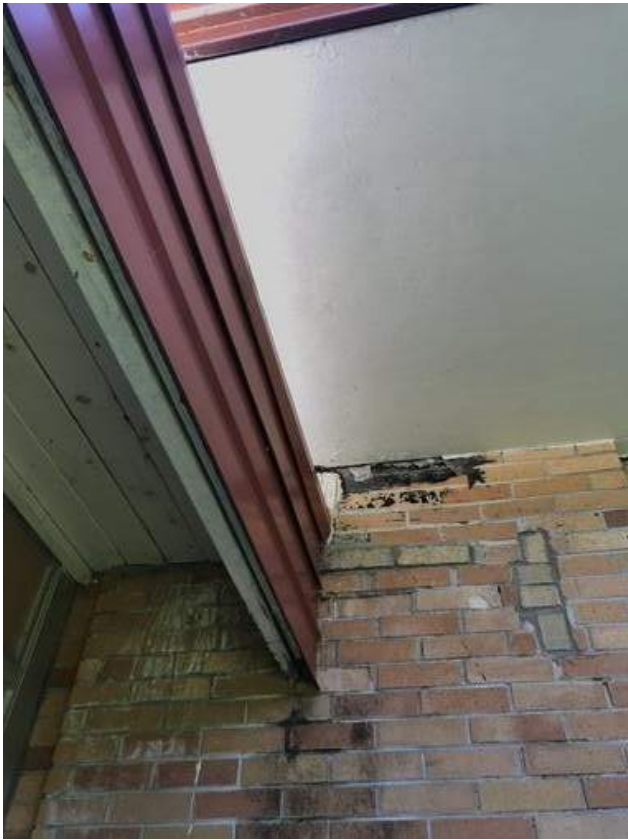


X9: Exterior

Description: Wall stains and cracks

Sheet
A2.0

Photos

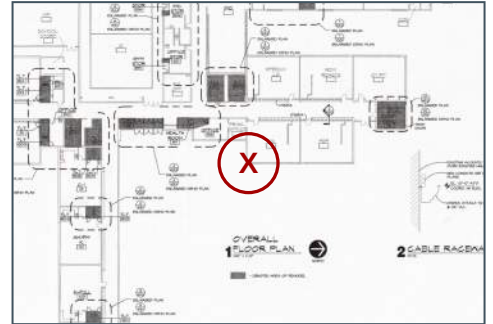


X10: Exterior

Description: Cracked and missing mortar at base

Sheet
A2.0

Photos

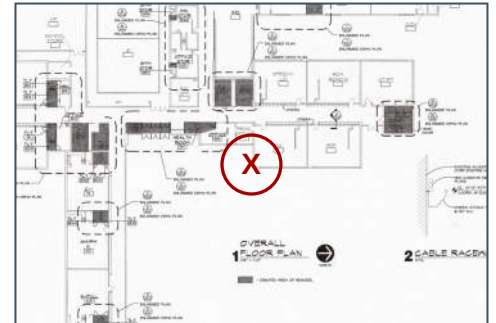


X11: Exterior

Description: Rotted soffit

Sheet
A2.0

Photos



X12: Exterior

Description: Cracked concrete

Sheet
A2.0

Photos



X13: Exterior

Description: Cracked concrete

Sheet
A2.0

Photos



X14: Exterior

Description: Wall cracks

Sheet
A2.0

Photos



X15: Exterior

Description: Missing mortar and cracked brick

Sheet
A2.0

Photos

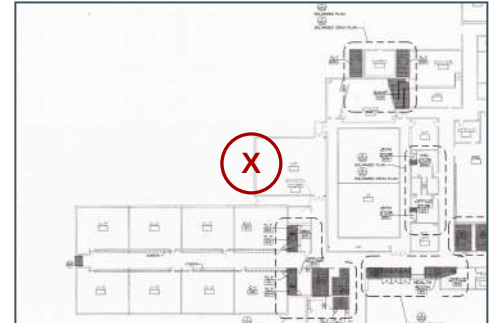


X16: Exterior

Description: Cracked concrete and cracked mortar

Sheet
A2.0

Photos

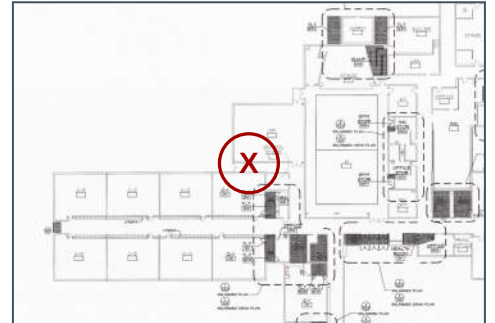


X17: Exterior

Description: Wall cracks

Sheet
A2.0

Photos

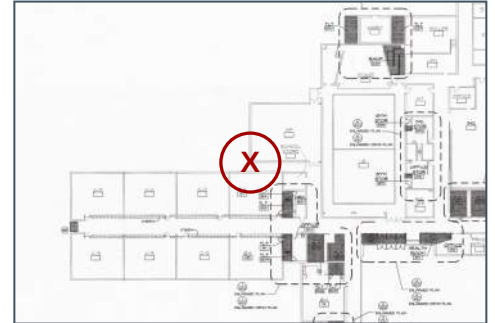


X18: Exterior

Description: Exterior windows need caulk

Sheet
A2.0

Photos



X19: Exterior

Description: Rotted wood at overhang

Photos



X20: Exterior

Description: Expanded concrete joints

Sheet
A2.0

Photos



X21: Exterior

Description: Concrete cracks

Sheet
A2.0

Photos

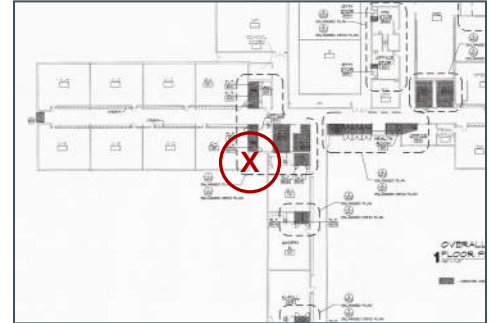


X22: Exterior

Description: Chipped brick

Sheet
A2.0

Photos

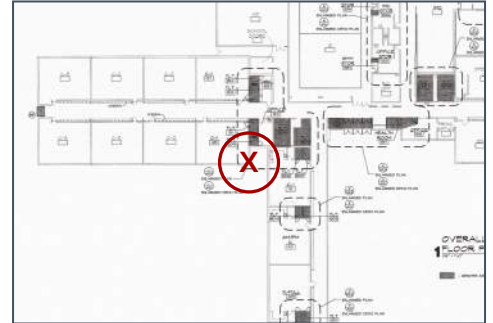


X23: Exterior

Description: Damaged wood soffit

Sheet
A2.0

Photos



X24: Exterior

Description: Rotted soffit

Sheet
A2.0

Photos

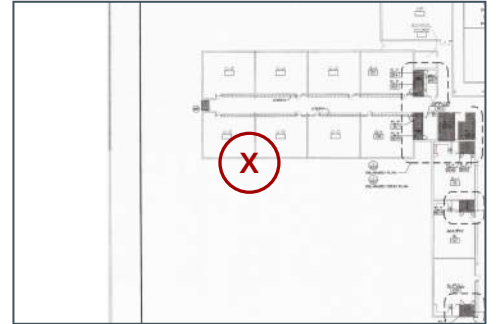


X25: Exterior

Description: Window screens damaged and windows need caulking

Sheet
A2.0

Photos

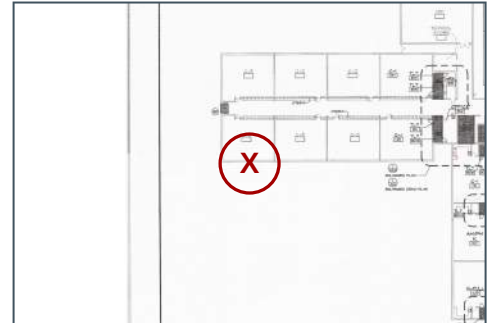


X26: Exterior

Description: Wood soffit is rotted

Sheet
A2.0

Photos

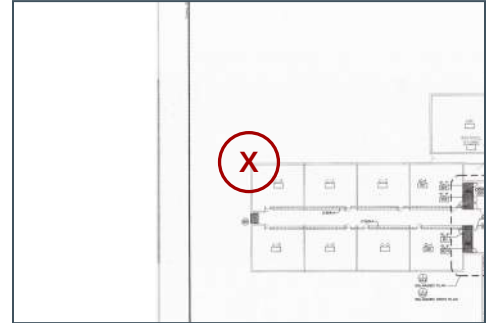


X27: Exterior

Description: Rotted soffit

Sheet
A2.0

Photos

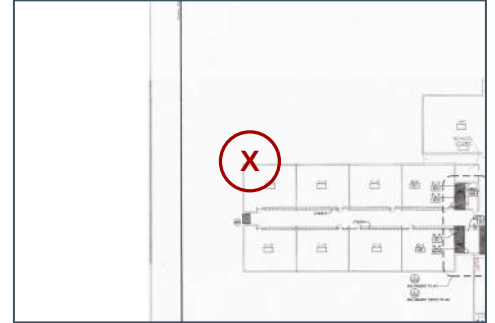


X28: Exterior

Description: Chipped corner of wall

Sheet
A2.0

Photos

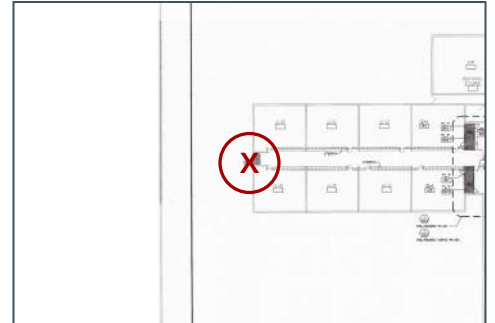


X29: Exterior

Description: Soffit is rotted

Sheet
A2.0

Photos

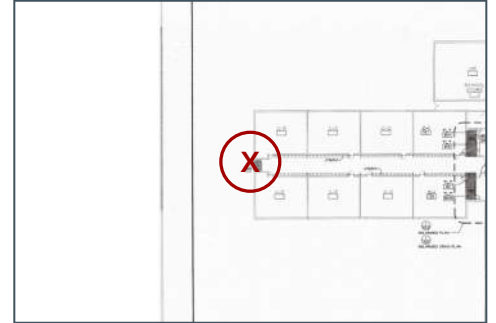


X30: Exterior

Description: Concrete cracks

Sheet
A2.0

Photos

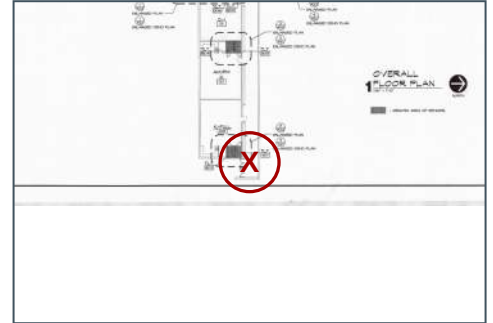


X31: Exterior

Description: Cracked concrete at base of wall

Sheet
A2.0

Photos

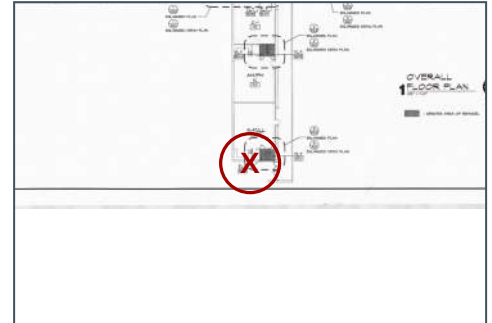


X32: Exterior

Description: Damaged wood soffit

Sheet
A2.0

Photos



X33: Exterior

Description: Missing brick at bottom corner of wall

Sheet
A2.0

Photos





**Magee Elementary School
Facilities Assessment
July 2021**



F1: Fire Protection

Description: Add fire protection/sprinklers to entire school

No photos available



Magee Elementary School Facilities Assessment July 2021



M1: Mechanical

Description: Add AC to IT closet

No photos available

M2: Mechanical

Description: Replace (2) AHU's

No photos available

M3: Mechanical

Description: Exhaust fan maintenance

No photos available

M4: Mechanical

Description: Add air conditioning to entire building

No photos available

E1: Electrical

Description: Receptacle cover cracked

Sheet
A2.0

Photos





Magee Elementary School Facilities Assessment July 2021



E2: Electrical

Description: Upgrade incoming electrical power

No photos available

E3: Electrical

Description: Upgrade fiber cabling in school

No photos available

E4: Electrical

Description: Cable labeling

No photos available

E5: Electrical

Description: LED lighting

No photos available

E6: Electrical

Description: Replace fire alarm system

No photos available

KOENIG ELEMENTARY SCHOOL

Facilities Assessment

July 2021

Year Built: 1992 with Additions in 1998 and 1999



Building Sizes: Approximately 59,858 square feet

Current Enrollment: 268

Grade Levels: Pre-K – 4th Grade

GENERAL COMMENTS FACILITIES

Overall, the building is in good condition. The envelope requires minor correction. The exterior windows require caulking.

The roof is at the end of its useful life and will need to be replaced in the next 5 years.

The sidewalks are settling below the stoops. The asphalt is cracking and will need to be replaced in 5 years.

One of the common issues are that the floors are cracked all throughout the building. The VCT will need to be replaced. All the interior windows will need to be caulked. Ceiling tile shows stains.



Two Rivers Public Schools Facilities Assessment July 2021



The school is not protected by wet pipe sprinkler system. If a future renovation project touches over 50% of the overall square footage a new wet pipe sprinkler system may be required for the entire school.

Overall plumbing system is in good shape. Bathrooms are ADA compliant and have been recently updated with automatic sensors on plumbing fixtures, automatic hand driers, mirrors, and dividers. Domestic hot water heaters are in good shape.

HVAC hot water boiler plant was replaced in 2002 and has about 5-10 more years of useful life. Classroom unit vents appeared to be well maintained and in good condition. Air conditioning should be provided in IT closets. We also recommend adding air conditioning to spaces that are currently not air conditioned.

Electrical service is original to the building and overall is almost at maximum capacity. Upgrading electrical service will be needed for renovation project. Lighting should be upgraded to energy efficient LED fixtures. IT cabling and proper labeling should be addressed. Some low voltage systems like security and phone/PA systems are becoming dated due to advances in technology and should consider upgrades. New voice over evac fire alarm should be added to the entire school.



Koenig Elementary School Facilities Assessment July 2021



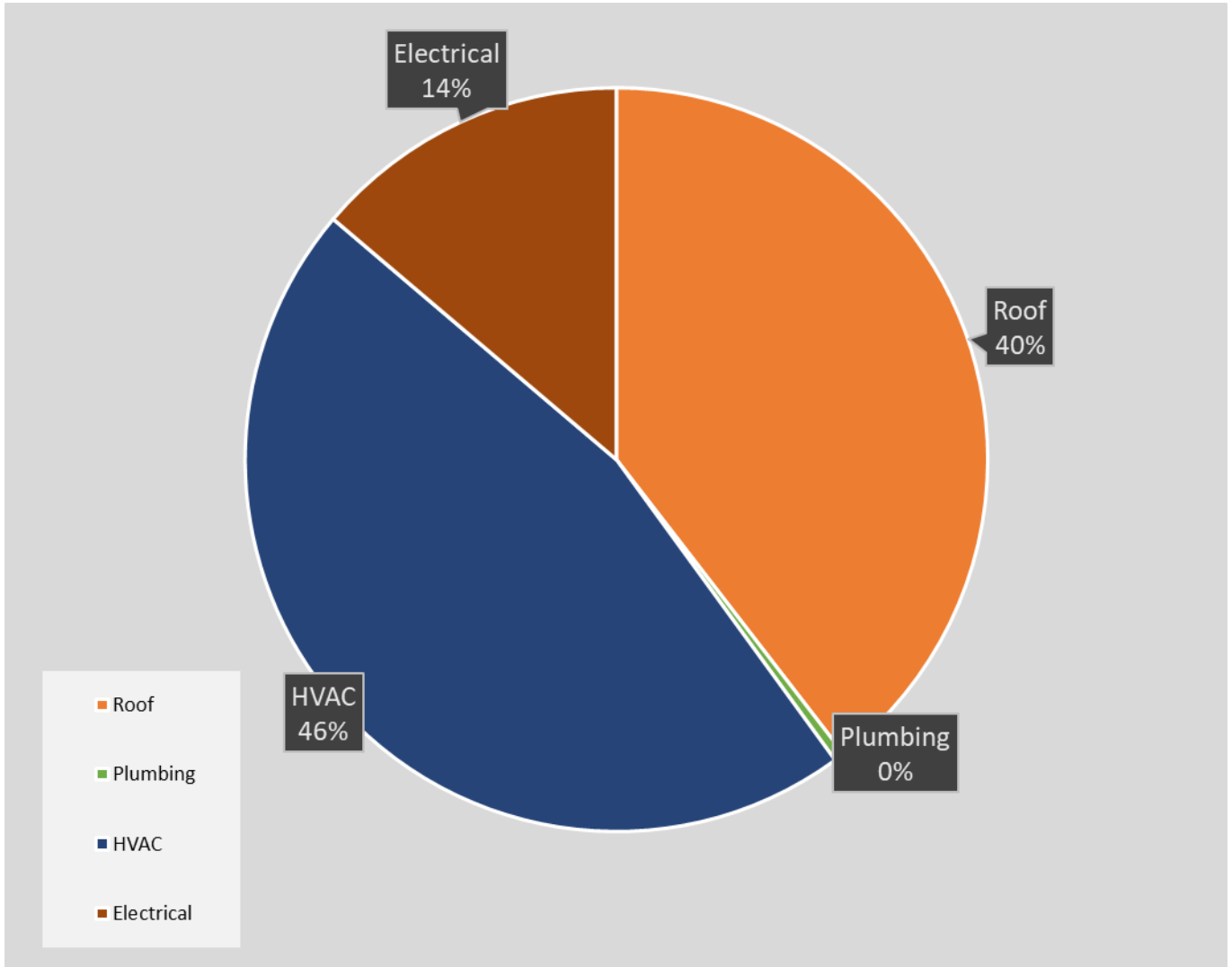
Summary of Maintenance Needs

2021 Facility Assessment Summary				
Building System	1 year (w/ inflation)	2-5 years (w/ inflation)	6-10 years (w/ inflation)	Subtotal
General Building Issues	\$ -	\$ -	\$ -	\$ -
Roofing Issues	\$ 13,666	\$ 1,182,408	\$ -	\$ 1,196,074
Exterior Issues	\$ -	\$ -	\$ -	\$ -
Site/Parking Lot Issues	\$ -	\$ -	\$ -	\$ -
Fire Protection Issues	\$ -	\$ -	\$ -	\$ -
Plumbing Issues	\$ -	\$ 13,621	\$ -	\$ 13,621
Mechanical Issues	\$ 12,584	\$ 1,386,161	\$ -	\$ 1,398,745
Electrical Issues	\$ -	\$ 417,784	\$ -	\$ 417,784
SUM BUILDING	\$ 26,250	\$ 2,999,974	\$ -	\$ 3,026,224

General Observations:

1. The budgets developed for this report are for the purposes of prioritizing and decision making. Due to the nature of the items observed, the full extent of repair and/or replacement cannot be ascertained without deconstructing spaces in which they were found. Upon prioritization of issues to be resolved, we will investigate fully and provide complete engineered solutions with finalized costs for final review/approval. During inspection spaces were not inspected for Hazardous Materials such as lead paint, asbestos, etc. CG Schmidt, Inc. has made every reasonable effort to review the spaces available to us and to assign budgets that reflect cosmetic solution for the items found.

Summary of Maintenance Needs





**2021 TWO RIVERS PUBLIC SCHOOLS
 FACILITIES ASSESSMENT
 1114 Lowell Street
 Koenig Elementary School
 July 2021**



		2%	2022	2023-2026	2027-2031
Item #	Description	Year (w/ 2% inflation)	1 Year	2-5 Years	6-10 Years
General Building Replacement or Repairs					
G1 - G83 Included in district maintenance plan					
Roof Replacement or Repairs					
R1	Two skylights are cracked and need to be replaced	2022	\$ 7,550	\$ -	\$ -
R2	Caulking needed at wall panels	2022	\$ 1,711	\$ -	\$ -
R3	Pillowing at parapet walls.	2022	\$ 4,404	\$ -	\$ -
R4	5 years left on overall roof.	2025	\$ -	\$ 1,182,408	\$ -
Exterior Replacement or Repairs					
X1 - X11 Included in district maintenance plan					
Site Replacement or Repairs					
S1 - S2 Included in district maintenance plan					
Fire Protection Replacement or Repairs					
F1 Included in district maintenance plan					
Plumbing Replacement or Repairs					
P1	Replace hot water heater	2026	\$ -	\$ 13,621	\$ -
Mechanical/HVAC Replacement or Repairs					
M1	Add AC to IT closet	2022	\$ 12,584	\$ -	\$ -
M2	Exhaust system maintenance	2026	\$ -	\$ 27,243	\$ -
M3	Add air conditioning to entire building	2025	\$ -	\$ 1,358,918	\$ -
Electrical Replacement or Repairs					
E4	Upgrade incoming electrical power	2026	\$ -	\$ 115,782	\$ -
E5	Upgrade fiber cabling in school	2026	\$ -	\$ 74,918	\$ -
E6	Cable labeling	2026	\$ -	\$ 27,243	\$ -
E8	Replace fire alarm system	2025	\$ -	\$ 199,841	\$ -



**2021 TWO RIVERS PUBLIC SCHOOLS
 FACILITIES ASSESSMENT
 1114 Lowell Street
 Koenig Elementary School
 July 2021**



Item #	Description	2%	2022	2023-2026	2027-2031
		Year (w/ 2% inflation)	1 Year	2-5 Years	6-10 Years
Koenig Elementary School Total		w/ Inflation:	\$ 26,250	\$ 2,999,974	\$ -

Key

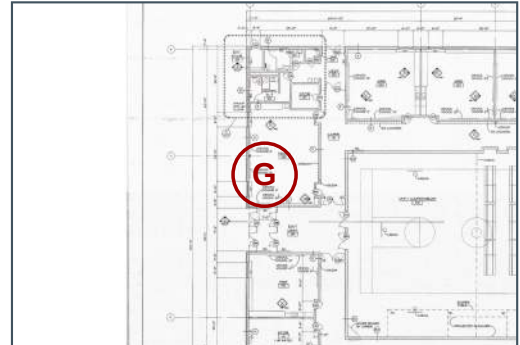
- G General Building Issues
- R Roofing Issues
- X Exterior Issues
- S Site Work Issues
- F Fire Protection Issues
- P Plumbing Issues
- M Mechanical Issues
- E Electrical Issues

G1: General

Description: Cracked floor tile

Sheet
A2.4

Photos

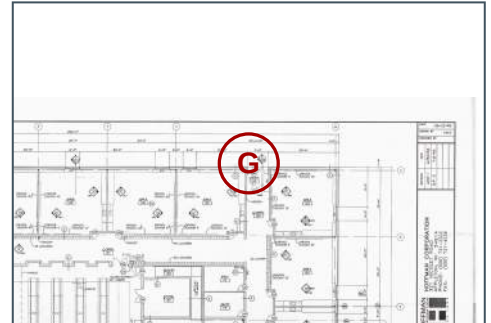


G2: General

Description: Joint needs to be caulked

Sheet
A2.4

Photos



G3: General

Description: Floor cracks

Sheet
A2.5

Photos

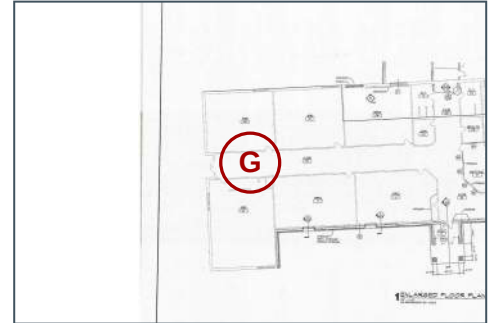


G4: General

Description: Floor Cracks

Sheet
A2.5

Photos



G5: General

Description: Stained ceiling

Sheet
A2.5

Photos

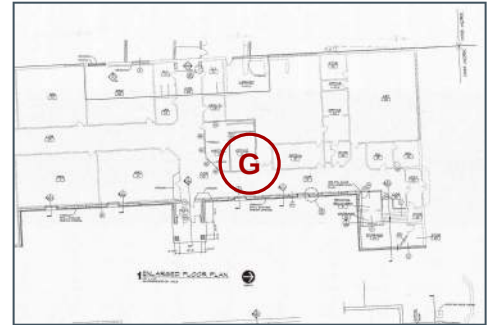


G6: General

Description: Stained ceiling

Sheet
A2.5

Photos

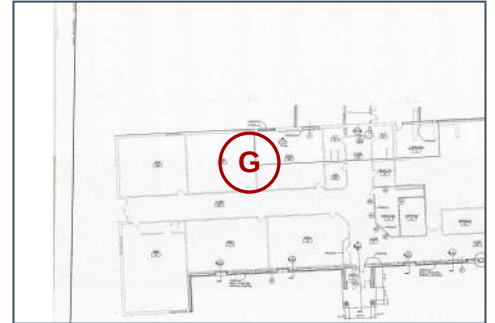


G7: General

Description: Scuffs on wall

Sheet
A2.5

Photos

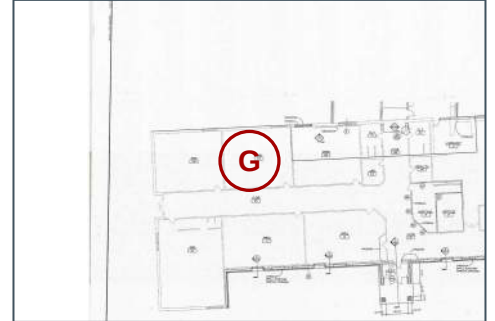


G8: General

Description: Scratches on floor

Sheet
A2.5

Photos

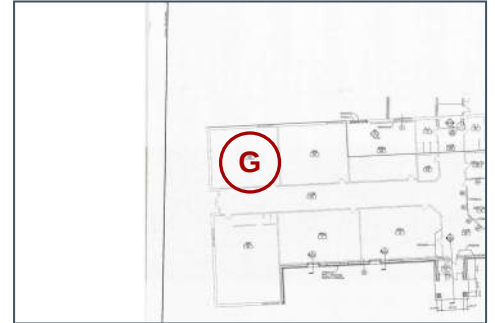


G9: General

Description: Stained ceiling

Sheet
A2.5

Photos

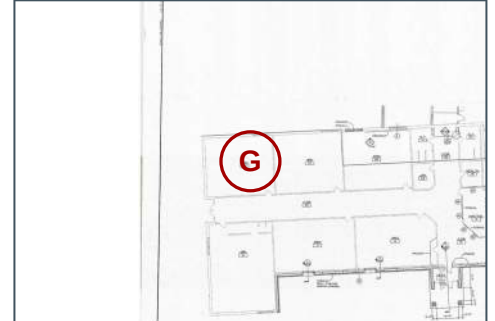


G10: General

Description: Scratches on floor

Sheet
A2.5

Photos

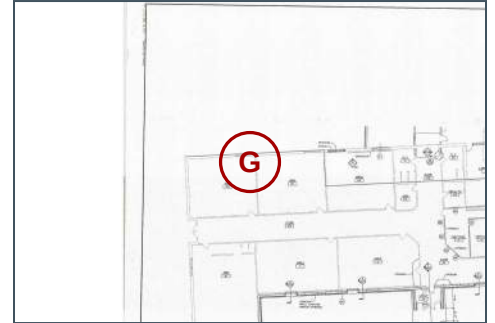


G11: General

Description: Holes in wall

Sheet
A2.5

Photos

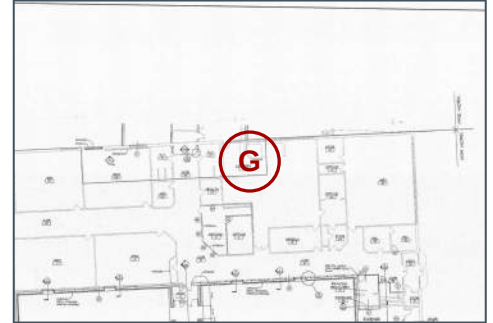


G12: General

Description: Stained ceiling

Sheet
A2.1

Photos

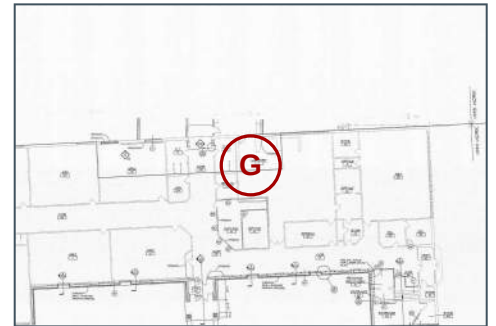


G13: General

Description: Door frame scratches and panel

Sheet
A2.5

Photos

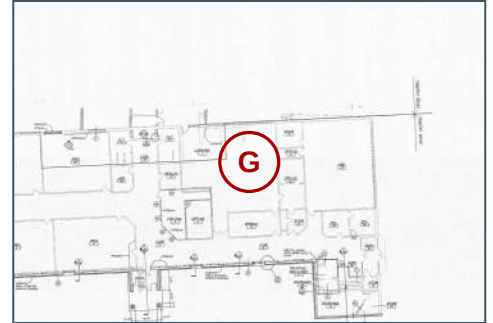


G14: General

Description: Stained carpet

Sheet
A2.5

Photos



G15: General

Description: Stained ceiling

Sheet
A2.5

Photos

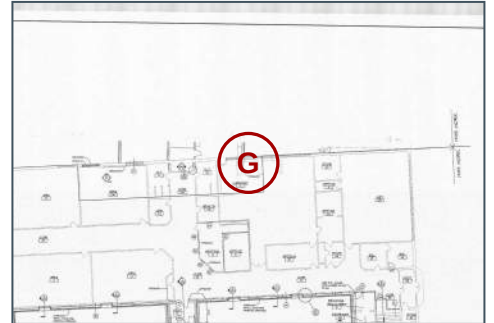


G16: General

Description: Window needs caulk

Sheet
A2.5

Photos



G17: General

Description: Chipped at corner of wall

Sheet
A2.5

Photos



G18: General

Description: Wall cover needed for data cables

Sheet
A2.5

Photos



G19: General

Description: Stained ceiling

Sheet
A2.5

Photos



G20: General

Description: Scratches on door

Sheet
A2.5

Photos



G21: General

Description: Stained ceiling tile

Sheet
A2.5

Photos



G22: General

Description: Window needs caulking

Sheet
A2.5

Photos

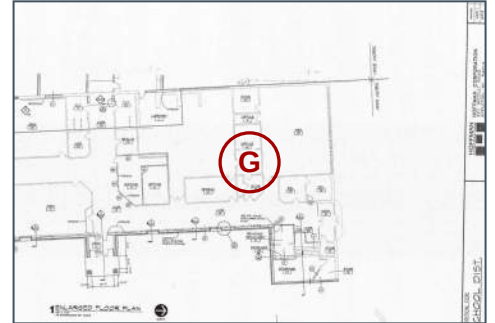


G23: General

Description: Stained carpet

Sheet
A2.5

Photos

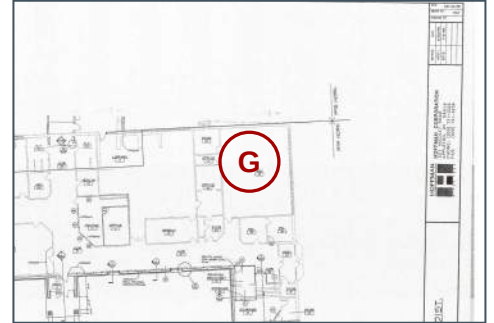


G24: General

Description: Stained ceiling tile

Sheet
A2.5

Photos

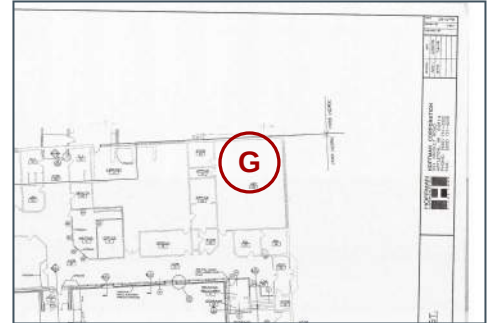


G25: General

Description: Windows need caulk

Sheet
A2.5

Photos

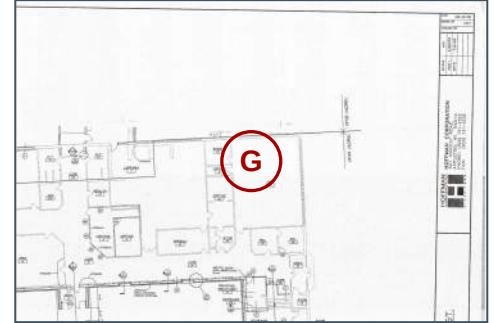


G26: General

Description: Cracks in floor

Sheet
A2.5

Photos

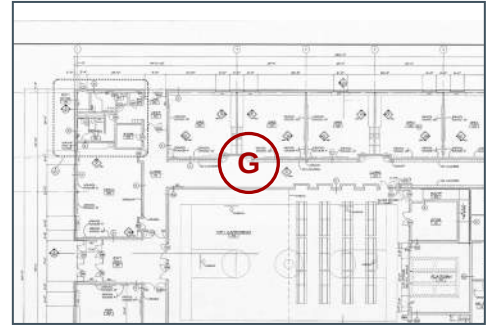


G27: General

Description: Stained ceiling tile

Sheet
A2.4

Photos



G28: General

Description: Stained ceiling tile

Sheet
A2.4

Photos

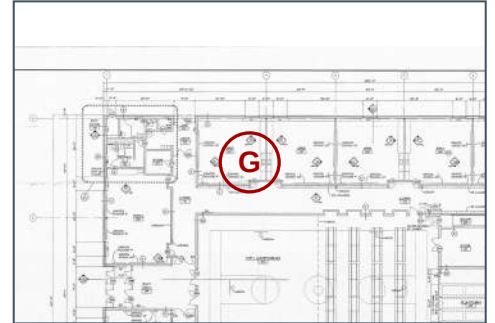


G29: General

Description: Walls need to be refinished and painted

Sheet
A2.4

Photos

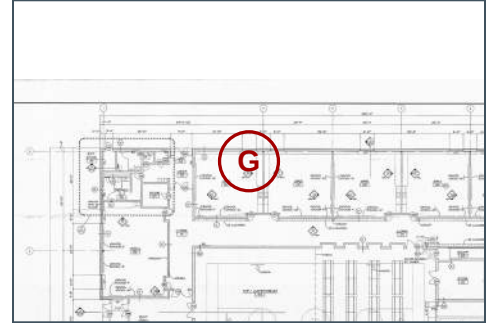


G30: General

Description: Counter tops and casework to be added

Sheet
A2.4

Photos



G31: General

Description: Cracks in CMU wall

Sheet
A2.4

Photos

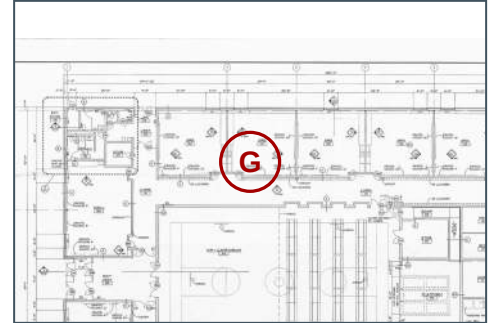


G32: General

Description: Cracks in floor

Sheet
A2.4

Photos

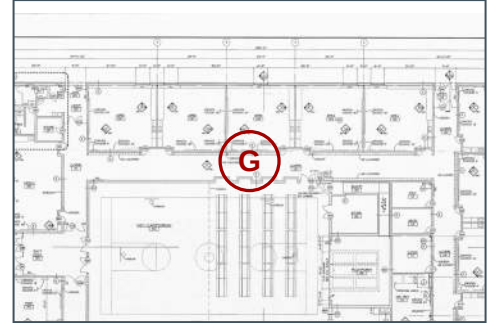


G33: General

Description: Cracks in floor

Sheet
A2.4

Photos

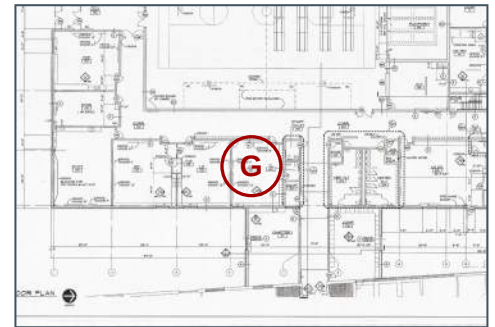


G34: General

Description: Laminate is peeling off counter top

Sheet
A2.4

Photos

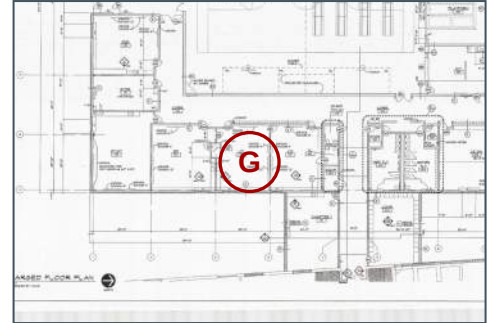


G35: General

Description: Walls needs patching and paint

Sheet
A2.4

Photos

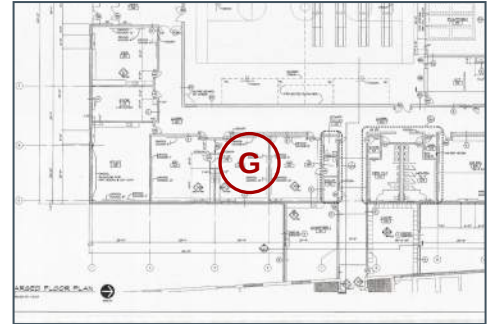


G36: General

Description: Window needs to be caulked

Sheet
A2.4

Photos

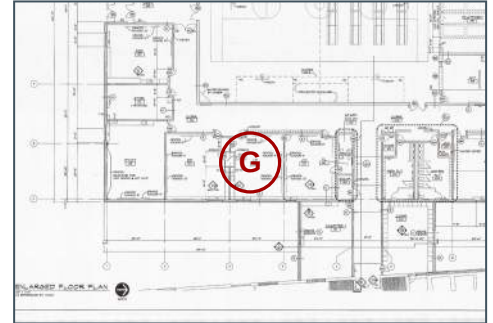
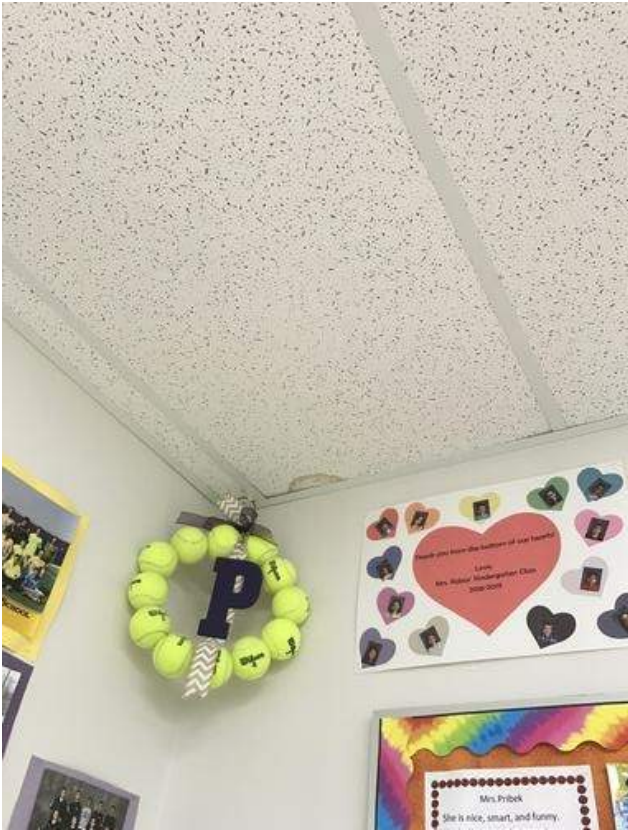


G37: General

Description: Stained ceiling tile

Sheet
A2.4

Photos



G38: General

Description: Window needs caulking

Sheet
A2.4

Photos

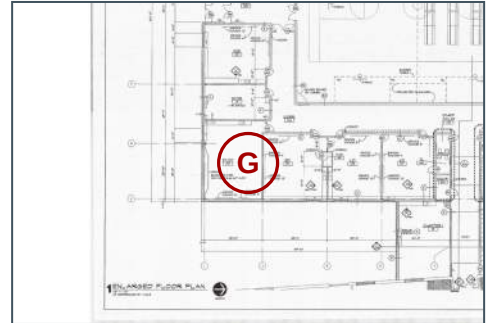


G39: General

Description: Cracks in floor

Sheet
A2.4

Photos

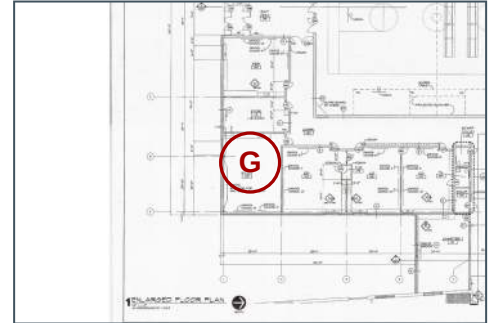


G40: General

Description: Stained ceiling tile

Sheet
A2.4

Photos



G41: General

Description: Stained ceiling tile

Sheet
A2.4

Photos

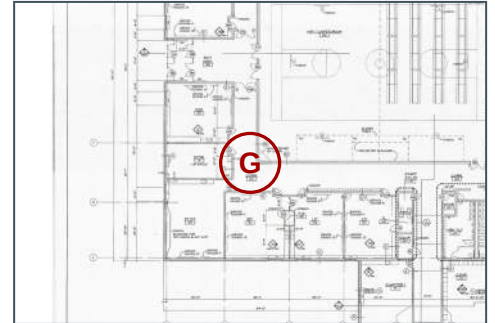


G42: General

Description: Cracks in floor

Sheet
A2.4

Photos

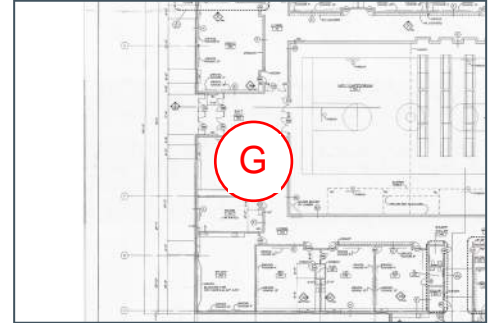


G43: General

Description: Stained shower

Sheet
A2.4

Photos

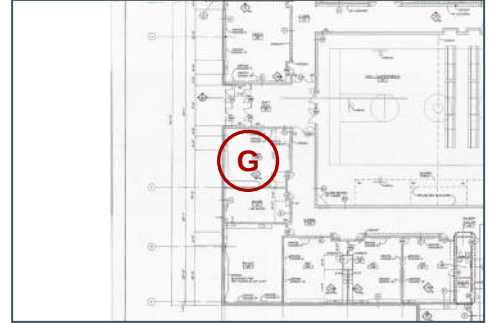


G44: General

Description: Crack in drywall

Sheet
A2.4

Photos

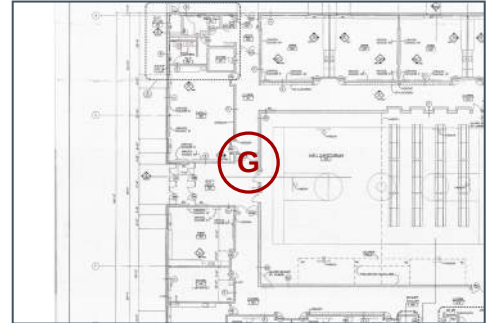


G45: General

Description: Cracks in floor

Sheet
A2.4

Photos

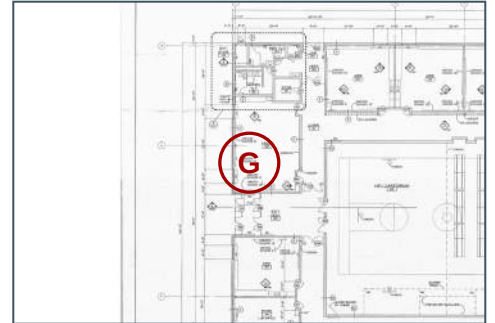


G46: General

Description: Cracks in floor

Sheet
A2.4

Photos

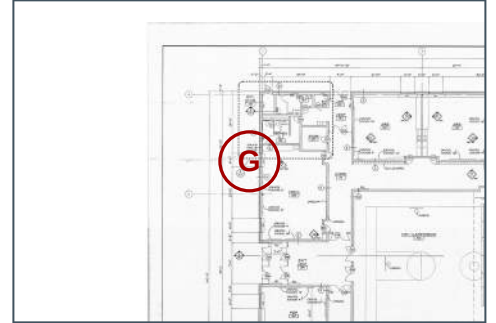


G47: General

Description: Concrete cracks around railing posts

Sheet
A2.4

Photos

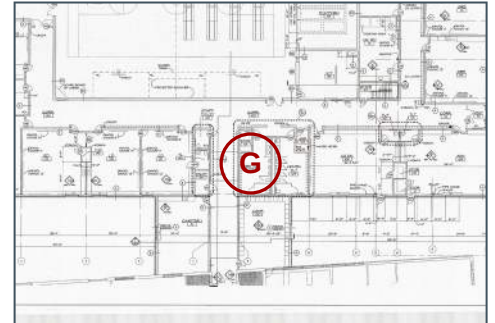


G48: General

Description: Laminate is peeling off counter top

Sheet
A2.4

Photos

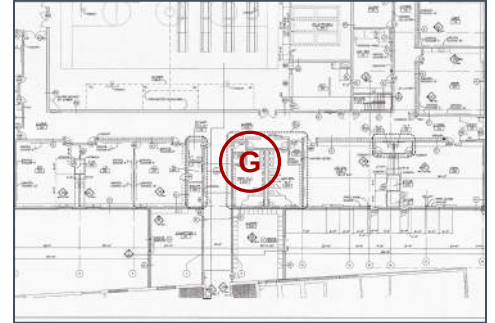


G49: General

Description: Cracks in floor

Sheet
A2.4

Photos



G50: General

Description: Cracks in floor

Sheet
A2.4

Photos

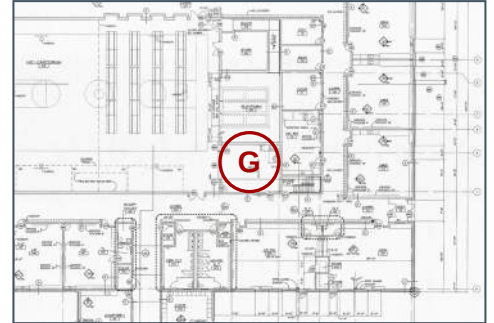


G51: General

Description: Crack in CMU wall

Sheet
A2.4

Photos

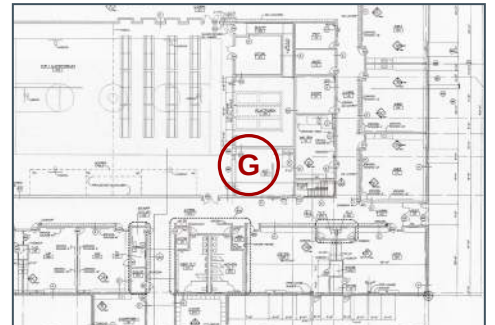


G52: General

Description: Stained ceiling tile

Sheet
A2.4

Photos

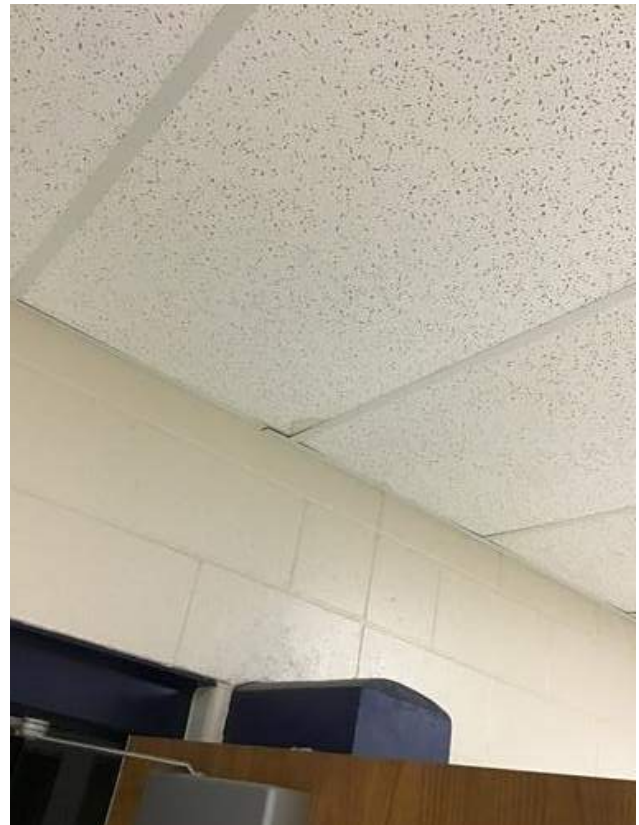
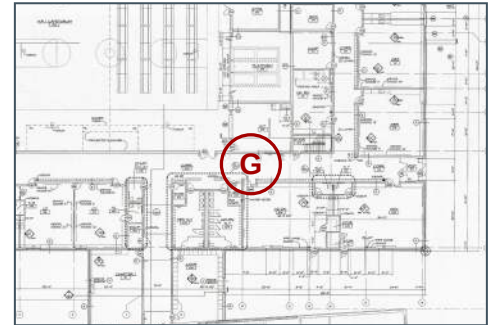


G53: General

Description: Stained ceiling tile

Sheet
A2.4

Photos



G54: General

Description: Cracks in floor

Sheet
A2.4

Photos

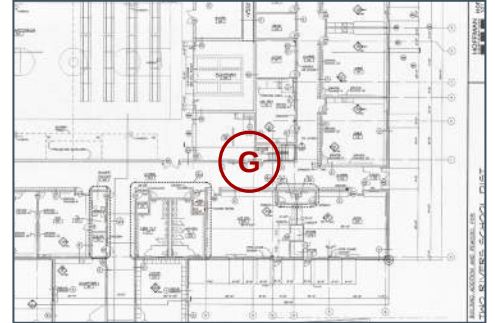


G55: General

Description: Cracks in floor

Sheet
A2.4

Photos

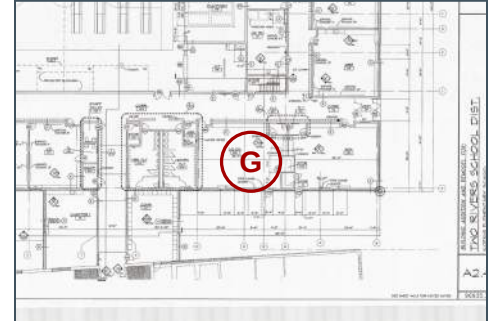


G56: General

Description: CMU to be painted

Sheet
A2.4

Photos



G57: General

Description: Window needs caulk

Sheet
A2.4

Photos



G58: General

Description: Cracks in floor

Sheet
A2.4

Photos

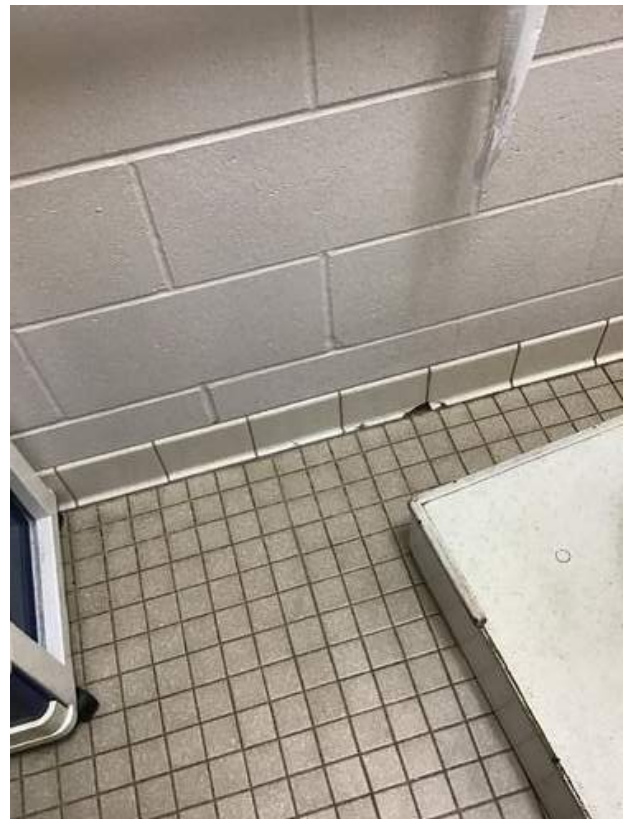


G59: General

Description: Tile base is chipped

Sheet
A2.4

Photos

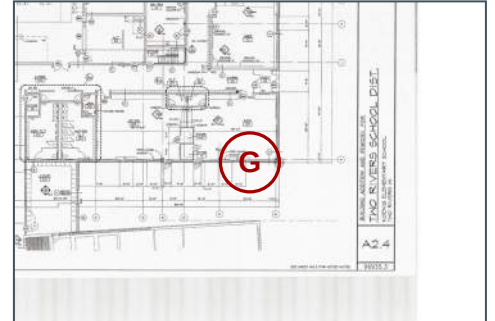


G60: General

Description: Window needs caulk

Sheet
A2.4

Photos



G61: General

Description: Stained carpet

Sheet
A2.4

Photos



G62: General

Description: Cracks in floor

Sheet
A2.4

Photos

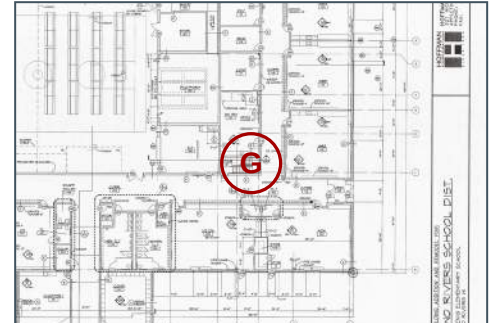


G63: General

Description: Crack in concrete floor on second level

Sheet
A2.4

Photos

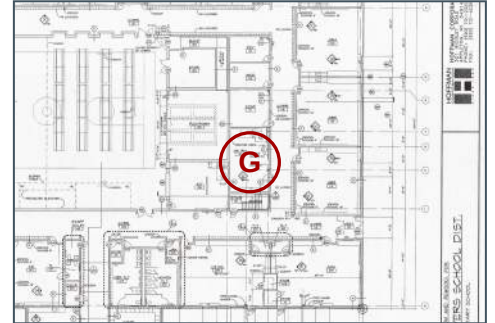


G64: General

Description: Stained ceiling tile

Sheet
A2.4

Photos

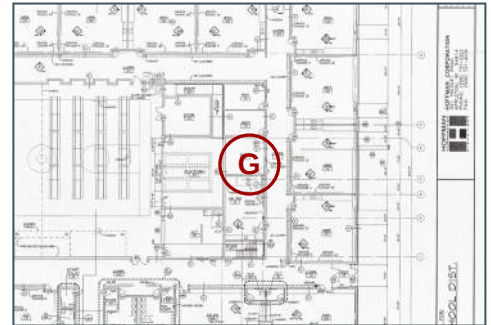


G65: General

Description: Stained ceiling tiles

Sheet
A2.4

Photos

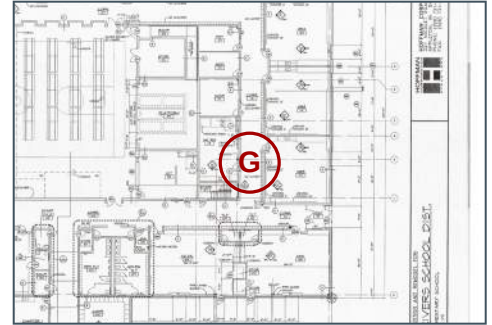


G66: General

Description: Rusting at bottom of lockers

Sheet
A2.4

Photos

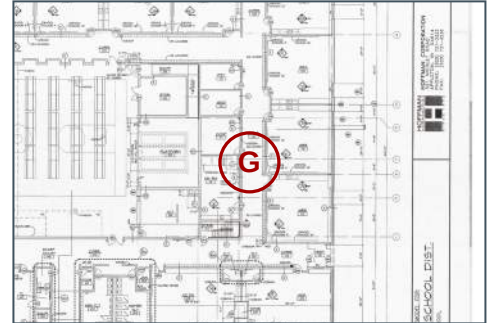


G67: General

Description: Stain in ceiling tile

Sheet
A2.4

Photos

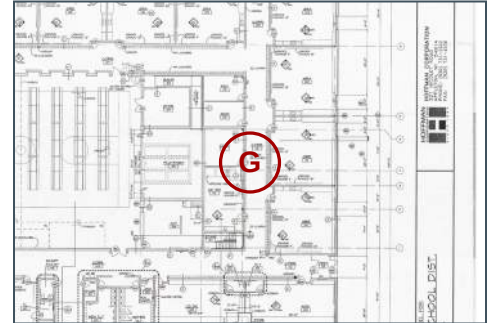


G68: General

Description: Floor has cracks

Sheet
A2.4

Photos

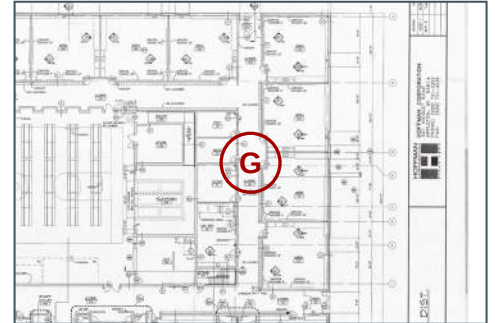


G69: General

Description: Floor has cracks

Sheet
A2.4

Photos

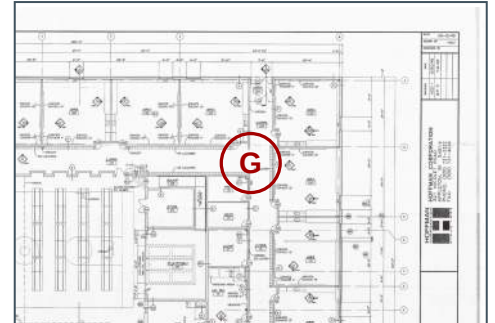


G70: General

Description: Floor has cracks

Sheet
A2.4

Photos

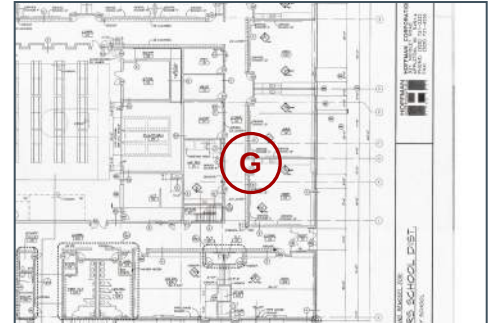


G71: General

Description: Floor has cracks

Sheet
A2.4

Photos

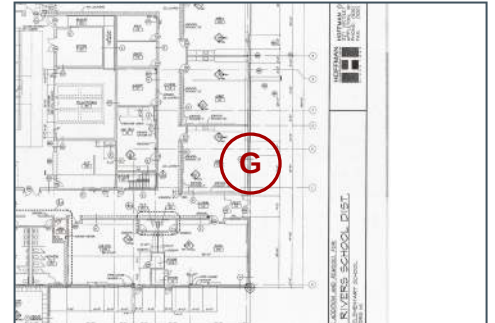


G72: General

Description: Need window caulking and drywall is cracked at the corner of the window

Sheet
A2.4

Photos

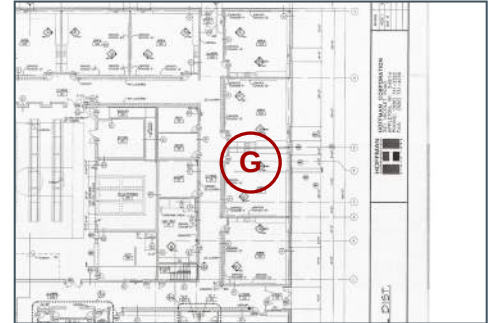


G73: General

Description: Cracks in floor

Sheet
A2.4

Photos

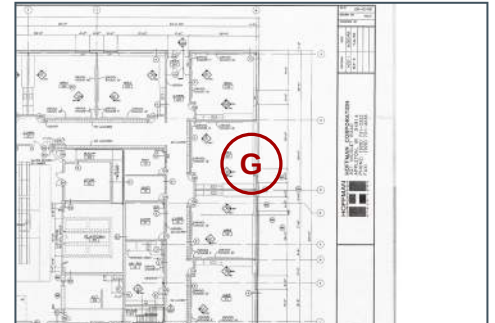


G74: General

Description: Window needs caulking

Sheet
A2.4

Photos



G75: General

Description: Cracks in floor

Sheet
A2.4

Photos



G76: General

Description: Window needs to be caulked

Sheet
A2.4

Photos

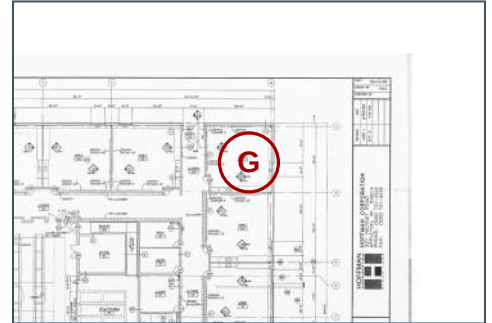


G77: General

Description: Drywall and paint needs to be refinished

Sheet
A2.4

Photos

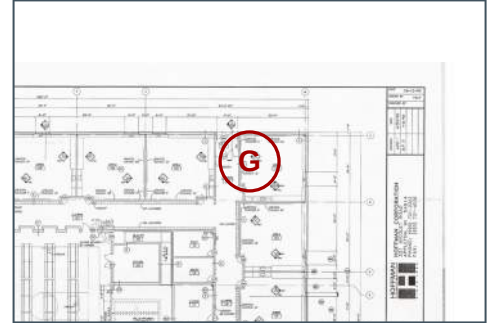


G78: General

Description: No base on the wall

Sheet
A2.4

Photos

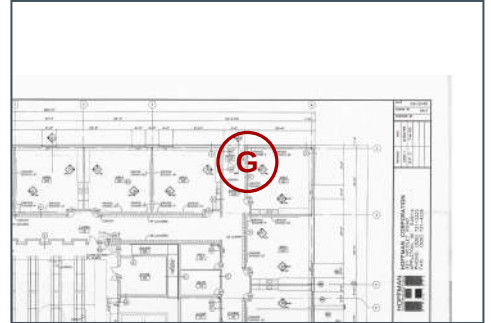


G79: General

Description: Crack in CMU wall

Sheet
A2.4

Photos

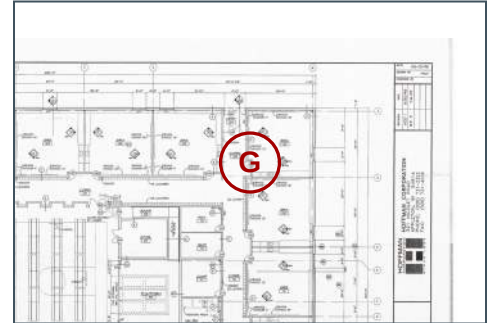


G80: General

Description: Cracks in the floor

Sheet
A2.4

Photos

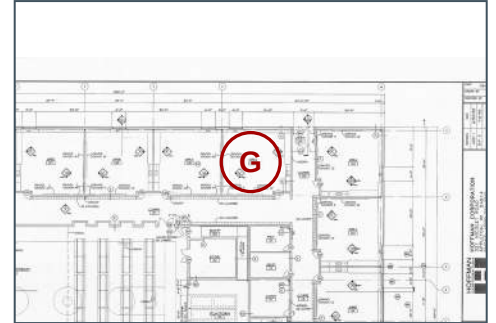


G81: General

Description: Cracks in the flooring

Sheet
A2.4

Photos

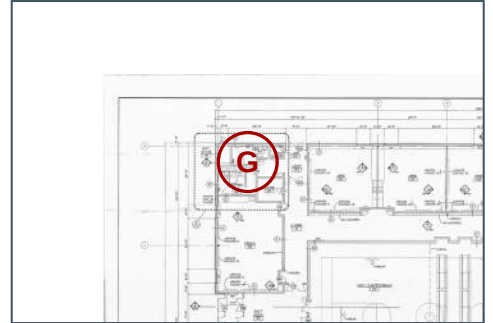


G82: General

Description: Laminate is pulling off counter top

Sheet
A2.4

Photos

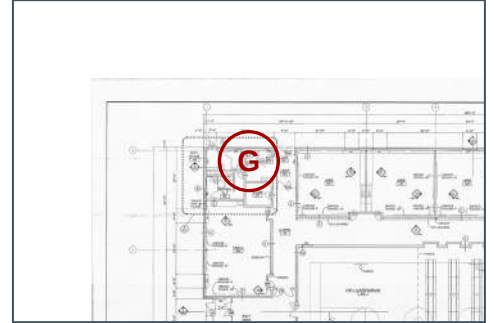


G83: General

Description: Toilet partition is stained

Sheet
A2.4

Photos



R1: Roof

Description: Two skylights are cracked and need to be replaced

Photos



R2: Roof

Description: Caulking needed at wall panels

Photos



R3: Roof

Description: Pillowing at parapet walls

Photos



R4: Roof

Description: 5 years left on overall roof

Photos



X1: Exterior

Description: Expanded gap between wall and sidewalk

Sheet
A2.5

Photos



X2: Exterior

Description: Cracks in the wall

Sheet
A2.5

Photos



X3: Exterior

Description: Caulking at wall needed

Sheet
A2.5

Photos

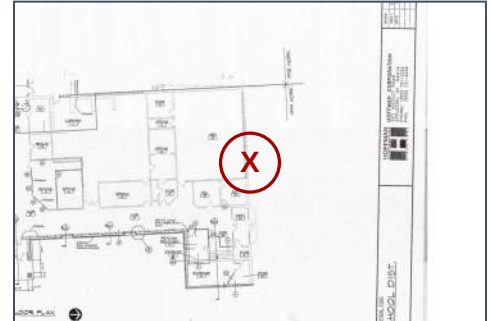


X4: Exterior

Description: Paint needed at all exterior lintels above windows

Sheet
A2.5

Photos



X5: Exterior

Description: Bricks missing from brick ledge

Sheet
A2.5

Photos

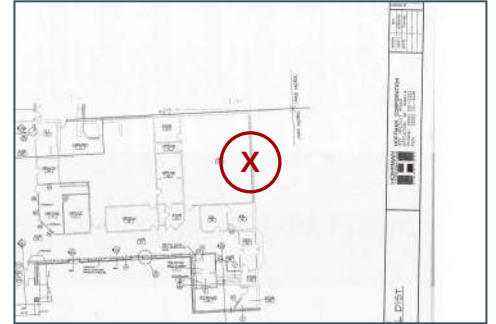


X6: Exterior

Description: Caulking required at all exterior windows

Sheet
A2.5

Photos



X7: Exterior

Description: Cracked mortar and damaged brick

Sheet
A2.5

Photos



X8: Exterior

Description: Cracked brick

Sheet
A2.5

Photos

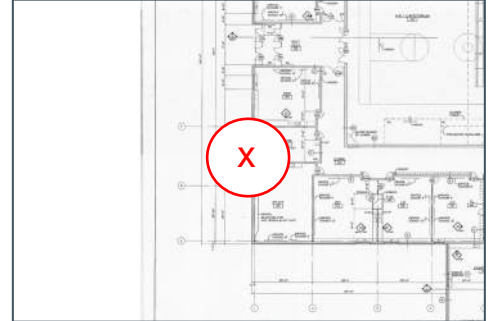


X9: Exterior

Description: Concrete chipped at nosing of steps

Sheet
A2.4

Photos

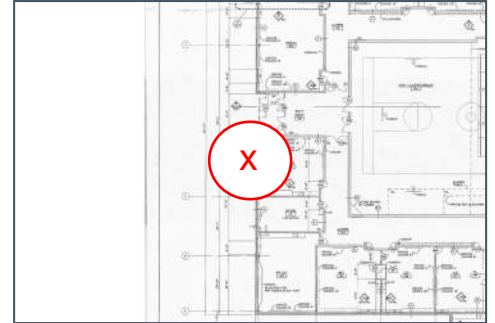


X10: Exterior

Description: Caulking required between window sills

Sheet
A2.4

Photos

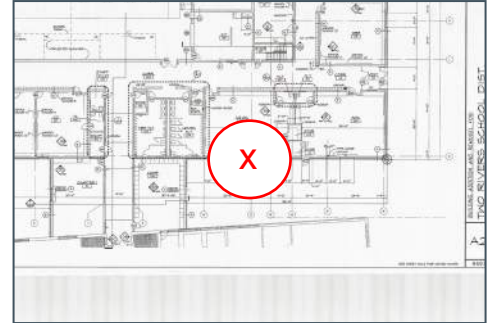


X11: Exterior

Description: Damaged window frames

Sheet
A2.4

Photos



S1: Site Work

Description: Cracks in asphalt, five years left

Photos



S2: Site Work

Description: Cracks in asphalt, five years left

Photos





Koenig Elementary School Facilities Assessment July 2021



F1: Fire Protection

Description: Add fire alarm to entire school

No photos available



**Koenig Elementary School
Facilities Assessment
July 2021**



P1: Plumbing

Description: Replace hot water heater

No photos available



**Koenig Elementary School
Facilities Assessment
July 2021**



M1: Mechanical

Description: Add air conditioning to IT closet

No photos available

M2: Mechanical

Description: Exhaust system maintenance

No photos available

M3: Mechanical

Description: Add air conditioning to entire building

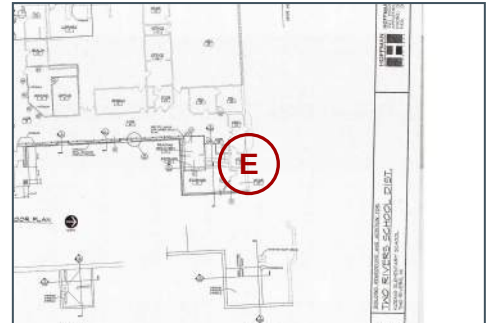
No photos available

E1: Electrical

Description: Electrical cover needed at receptacle

Sheet
A2.5

Photos



E2: Electrical

Description: Electrical receptacle needs cover

Sheet
A2.5

Photos

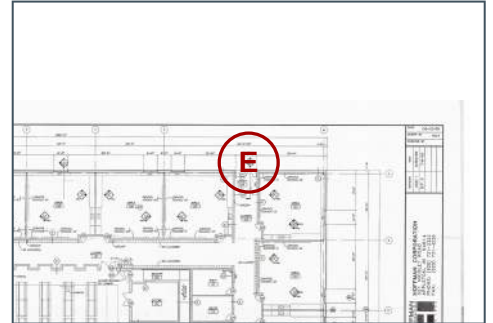


E3: Electrical

Description: Electrical receptacle needs cover

Sheet
A2.4

Photos





**Koenig Elementary School
Facilities Assessment
July 2021**



E4: Electrical

Description: Upgrade incoming electrical power

No photos available

E5: Electrical

Description: Upgrade fiber cabling in school

No photos available

E6: Electrical

Description: Cable labeling

No photos available

E7: Electrical

Description: LED Lighting

No photos available

E8: Electrical

Description: Replace fire alarm system

No photos available

L.B. CLARKE MIDDLE SCHOOL

Facilities Assessment

July 2021

Year Built: 1969, Flagpole Addition 1991



Building Sizes: Approximately 82,590 square feet

Current Enrollment: 516

Grade Levels: 5TH – 8TH

GENERAL COMMENTS FACILITIES

Overall, the building is in good condition. The envelope has some minor issues that require correction. The brick mud will have to be redone and tuck pointed within 2-5 years. Caulking is required between solid surface panels, between the metal panels and around the perimeter of the bottom sill.

There are three different types of roofs on the building. We recommend that the Modified roof be replaced in the next 5-8 years, the Duro-Last roof in the next 5 years, and the Ballasted roof in the next 5 years.

The parking lot has 3-5 years left.

The interior requires cosmetic repairs with the carpet, wall finishes and stained and ceiling tile.



Two Rivers Public Schools Facilities Assessment July 2021



The school is not protected by wet pipe sprinkler system. If a future renovation project touches over 50% of the overall square footage a new wet pipe sprinkler system may be required for the entire school. Kitchen hood needs Ansul fire protection system to be within code.

Overall plumbing system is in good shape. Bathrooms are ADA compliant and have been recently updated with automatic sensors on plumbing fixtures, automatic hand driers, mirrors, and dividers. Domestic HW heaters are in good shape.

HVAC for the majority of the school is at the end of its useful life. Classroom AHUs are not very maintenance friendly, and controllability is an issue. Gym AHUs are old and should be replaced to be well maintained and in good condition. Air conditioning should be provided in IT closets. We also recommend adding air conditioning to spaces that are currently not air conditioned.

Electrical service is original to the building and overall is almost at maximum capacity. Upgrading electrical service will be needed for renovation project. Lighting should be upgraded to energy efficient LED fixtures. IT cabling and proper labeling should be addressed. Some low voltage systems like security and phone/PA systems are becoming dated due to advances in technology and should consider upgrades. New voice over evac fire alarm should be added to the entire school.



**L.B. Clarke Middle School
Facilities Assessment
July 2021**



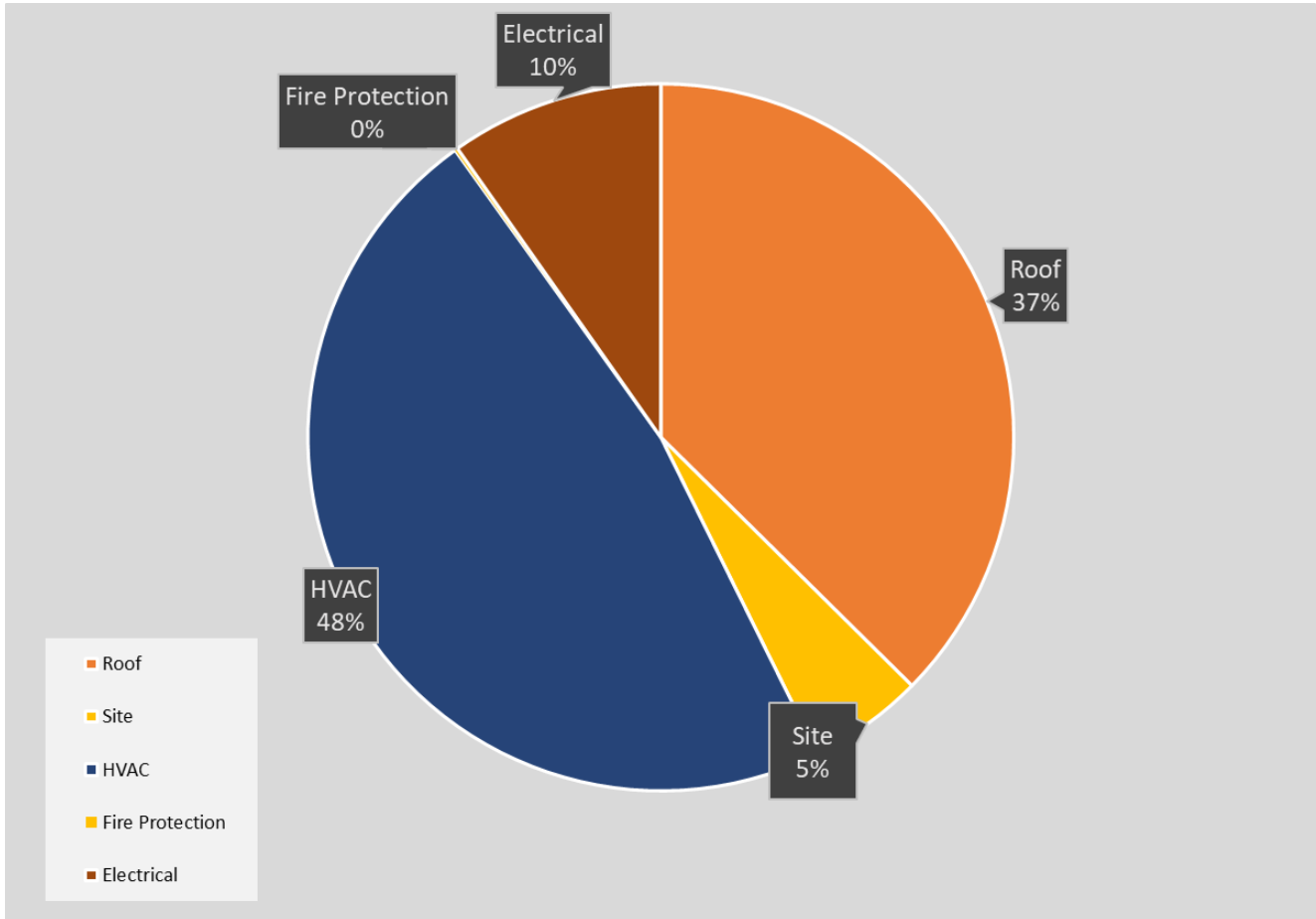
Summary of Maintenance Needs

2021 Facility Assessment Summary				
Building System	1 year (w/ inflation)	2-5 years (w/ inflation)	6-10 years (w/ inflation)	Subtotal
General Building Issues	\$ -	\$ -	\$ -	\$ -
Roofing Issues	\$ 1,963	\$ 1,938,364	\$ -	\$ 1,940,327
Exterior Issues	\$ -	\$ -	\$ -	\$ -
Site/Parking Lot Issues	\$ 7,399	\$ 266,112	\$ -	\$ 273,511
Fire Protection Issues	\$ 6,921	\$ -	\$ -	\$ 6,921
Plumbing Issues	\$ -	\$ -	\$ -	\$ -
Mechanical Issues	\$ 12,584	\$ 2,447,088	\$ -	\$ 2,459,672
Electrical Issues	\$ -	\$ 507,298	\$ -	\$ 507,298
SUM BUILDING	\$ 28,868	\$ 5,158,861	\$ -	\$ 5,187,729

General Observations:

1. The budgets developed for this report are for the purposes of prioritizing and decision making. Due to the nature of the items observed, the full extent of repair and/or replacement cannot be ascertained without deconstructing spaces in which they were found. Upon prioritization of issues to be resolved, we will investigate fully and provide complete engineered solutions with finalized costs for final review/approval. During inspection spaces were not inspected for Hazardous Materials such as lead paint, asbestos, etc. CG Schmidt, Inc. has made every reasonable effort to review the spaces available to us and to assign budgets that reflect cosmetic solution for the items found.

Summary of Maintenance Needs





2021 TWO RIVERS PUBLIC SCHOOLS
FACILITIES ASSESSMENT
 4608 Bellevue Place
 L.B. Clarke Middle School
 July 2021



Item #	Description	Year (w/ 2% inflation)	2%	2022	2023-2026	2027-2031
			1 Year	2-5 Years	6-10 Years	
General Building Replacement or Repairs						
G1 - G90 Included in district maintenance plan						
Exterior Replacement or Repairs						
X1 - X17 Included in district maintenance plan						
Roof Replacement or Repairs						
R1	Rusted vent	2022	\$ 252	\$ -	\$ -	-
R2	Caulk needed at metal panels	2022	\$ 856	\$ -	\$ -	-
R3	Caulk needed at solid stone	2022	\$ 856	\$ -	\$ -	-
R4	Modified roof 5-8 years left	2026	\$ -	\$ 105,362	\$ -	-
R5	Duro-Last roof 5 years left	2025	\$ -	\$ 1,566,249	\$ -	-
R6	Ballast Roof 5 years left.	2025	\$ -	\$ 266,753	\$ -	-
Site Replacement or Repairs						
S1	Cracked concrete sidewalk	2022	\$ 4,304	\$ -	\$ -	-
S2	Asphalt settling below concrete stoop	2022	\$ 2,089	\$ -	\$ -	-
S3	Asphalt is settling below concrete stoop	2022	\$ 1,007	\$ -	\$ -	-
S4	Cracked concrete	2023	\$ -	\$ 10,346	\$ -	-
S5	Stained concrete sidewalk	2024	\$ -	\$ 550	\$ -	-
S6	Cracks at the front parking lot. 2-5 years left	2024	\$ -	\$ 37,095	\$ -	-
S7	Cracks at the back parking lot. 2-5 years left	2024	\$ -	\$ 218,121	\$ -	-
Fire Protection Replacement or Repairs						
F1	Ansul fire protection for kitchen hood	2022	\$ 6,921	\$ -	\$ -	-
Mechanical/HVAC Replacement or Repairs						
M2	Replace (2) old gym AHUs	2026	\$ -	\$ 129,403	\$ -	-
M5	Replace penthouse AHUs	2026	\$ -	\$ 442,696	\$ -	-
M6	Add AC in IT closet	2022	\$ 12,584	\$ -	\$ -	-
M7	Add air conditioning to entire building	2025	\$ -	\$ 1,874,988	\$ -	-



**2021 TWO RIVERS PUBLIC SCHOOLS
 FACILITIES ASSESSMENT
 4608 Bellevue Place
 L.B. Clarke Middle School
 July 2021**



Item #	Description	2%	2022	2023-2026	2027-2031
		Year (w/ 2% inflation)	1 Year	2-5 Years	6-10 Years
Electrical Replacement or Repairs					
E6	Upgrade incoming electrical power	2026	\$ -	\$ 129,403	\$ -
E7	Upgrade fiber cabling in school	2026	\$ -	\$ 74,918	\$ -
E8	Cable labeling	2026	\$ -	\$ 27,243	\$ -
E11	Replace fire alarm system	2025	\$ -	\$ 275,734	\$ -
L.B. Clarke Middle School Total		w/ Inflation:	\$ 28,868	\$ 5,158,861	\$ -

Key

- G General Building Issues
- R Roofing Issues
- X Exterior Issues
- S Site Work Issues
- F Fire Protection Issues
- P Plumbing Issues
- M Mechanical Issues
- E Electrical Issues

G1: General

Description: Stained carpet

Sheet
A2.1

Photos



G2: General

Description: Cabinet Damages

Sheet
A2.1

Photos



G3: General

Description: Paint is bubbling

Sheet
A2.1

Photos



G4: General

Description: Scratched doors

Sheet
A2.1

Photos



G5: General

Description: Crack in CMU wall

Sheet
A2.1

Photos



G6: General

Description: Holes in CMU wall

Sheet
A2.1

Photos



G7: General

Description: Missing VCT tile

Sheet
A2.1

Photos

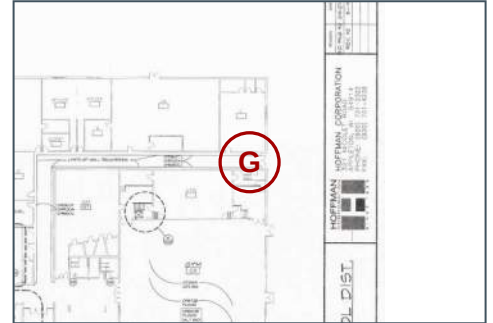


G8: General

Description: Cracked VCT around floor cover

Sheet
A2.1

Photos

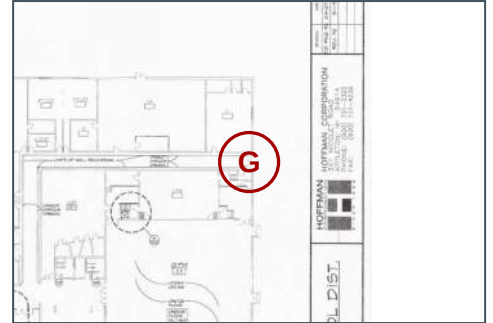


G9: General

Description: Scratched door

Sheet
A2.1

Photos

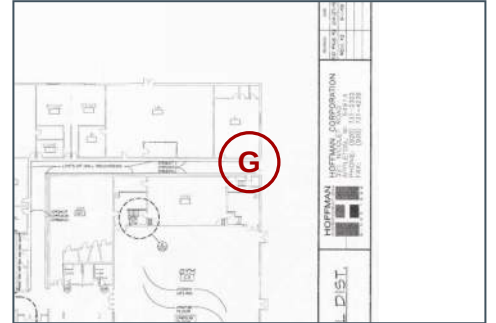


G10: General

Description: Scratched doors

Sheet
A2.1

Photos

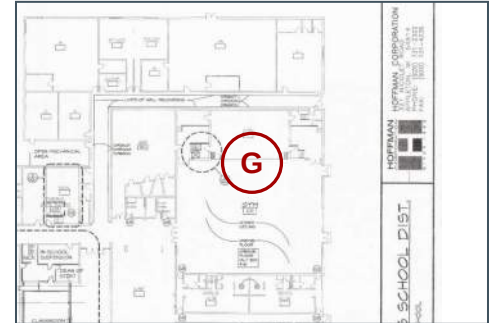


G11: General

Description: Damaged ceiling above stage

Sheet
A2.1

Photos

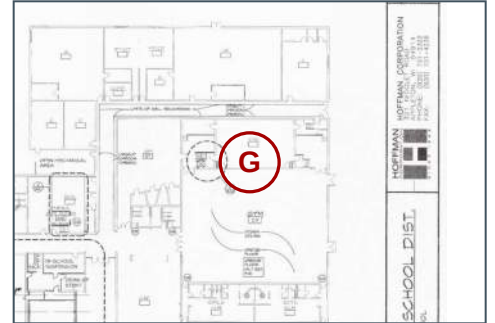


G12: General

Description: Bent Vent

Sheet
A2.1

Photos



G13: General

Description: Scratch of floor finish of stage

Sheet
A2.1

Photos



G14: General

Description: Hole in CMU wall

Sheet
A2.1

Photos



G15: General

Description: Damaged ACT

Sheet
A2.1

Photos



G16: General

Description: Holes in brick wall

Sheet
A2.1

Photos

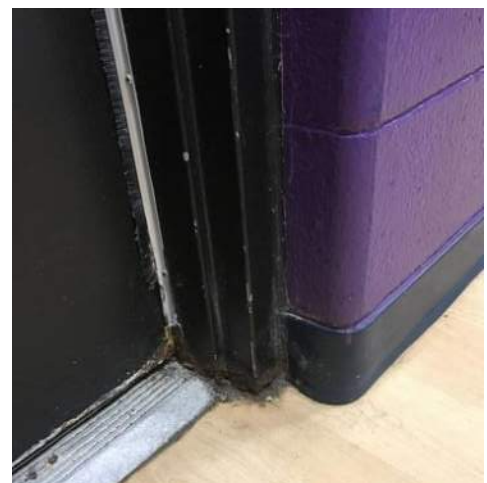


G17: General

Description: Scratched doors and rusted door frames at base

Sheet
A2.1

Photos

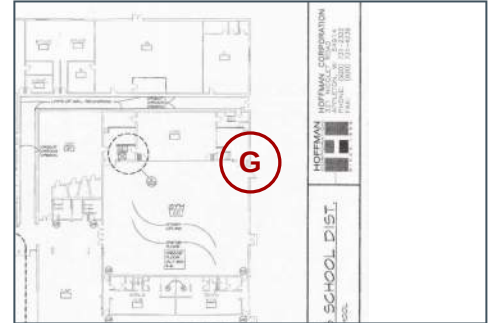


G18: General

Description: Exterior sidewalk setting below stoop

Sheet
A2.1

Photos



G19: General

Description: Cracks in concrete floor and floor finish is chipped

Sheet
A2.1

Photos



G20: General

Description: Scratched and missing VCT flooring

Sheet
A2.1

Photos



G21: General

Description: Crack in CMU wall

Sheet
A2.1

Photos

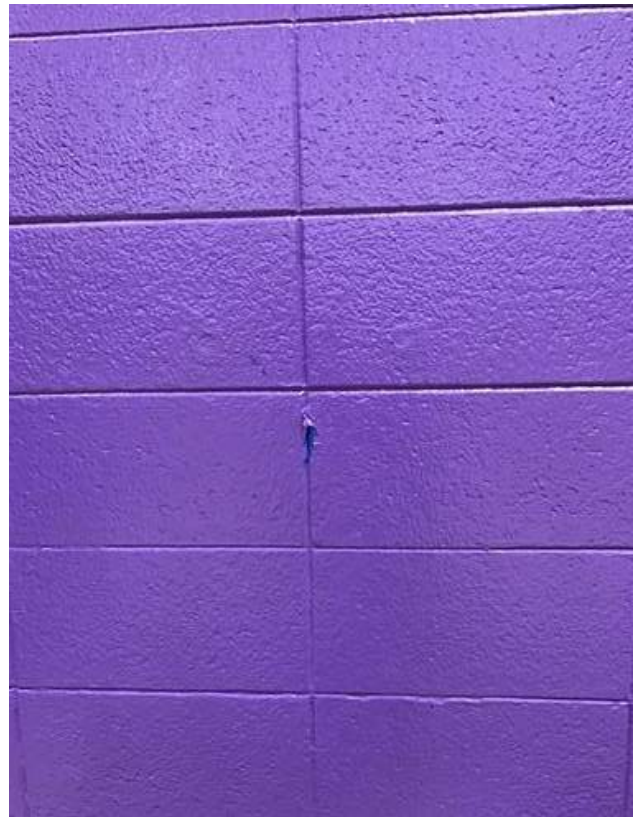


G22: General

Description: Chips in paint

Sheet
A2.1

Photos

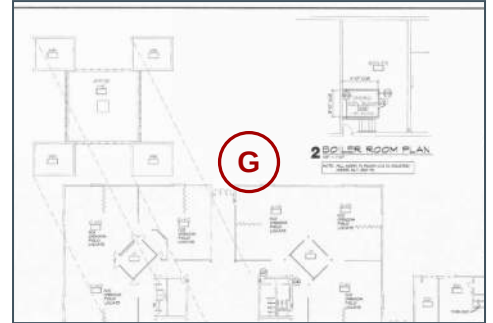


G23: General

Description: Rusting door panels

Sheet
A2.1

Photos



G24: General

Description: Scratched exterior door

Sheet
A2.1

Photos



G25: General

Description: Scratched doors and rusted door frames at base

Sheet
A2.1

Photos



G26: General

Description: Joint to be tuck pointed

Sheet
A2.1

Photos



G27: General

Description: Scratched doors and frames

Sheet
A2.1

Photos



G28: General

Description: Scratched and chipped VCT flooring

Sheet
A2.1

Photos



G29: General

Description: Cracks in flooring

Sheet
A2.1

Photos



G30: General

Description: Crack in flooring

Sheet
A2.1

Photos



G31: General

Description: Cracks in VCT flooring

Sheet
A2.1

Photos



G32: General

Description: Scratches on stage panels

Photos



G33: General

Description: Missing VCT flooring

Sheet
A2.1

Photos



G34: General

Description: Scratched door, cracked and missing VCT

Sheet
A2.1

Photos



G35: General

Description: Damaged ACT ceiling

Sheet
A2.1

Photos



G36: General

Description: Unfinished drywall joints

Sheet
A2.1

Photos



G37: General

Description: Damaged casework

Sheet
A2.1

Photos



G38: General

Description: Wall damages and scratches

Sheet
A2.1

Photos

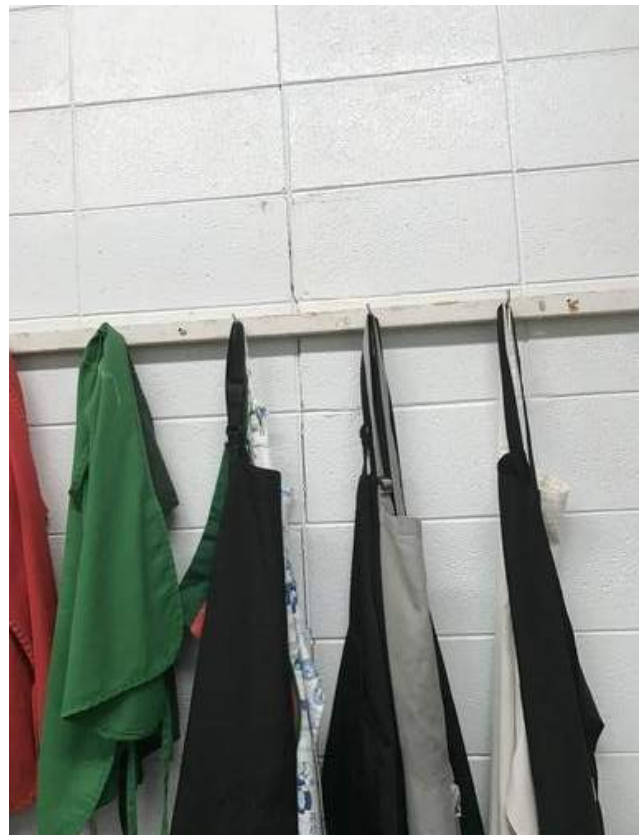
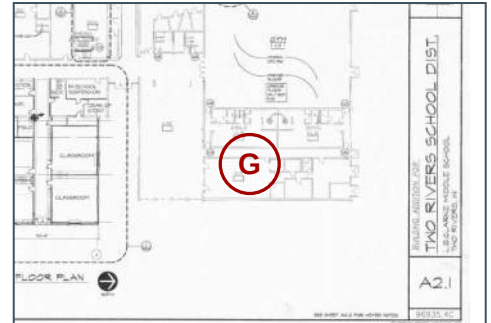


G39: General

Description: Cracks in CMU wall

Sheet
A2.1

Photos

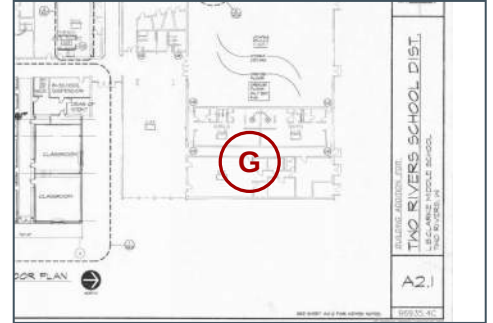


G40: General

Description: Chips in CMU wall

Sheet
A2.1

Photos

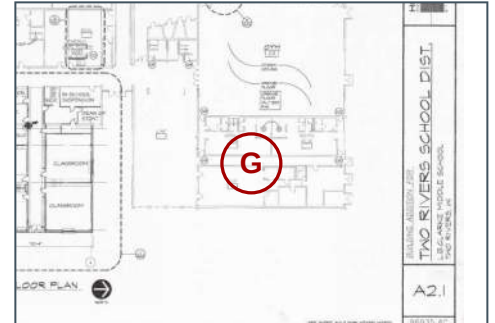


G41: General

Description: Damaged wood door

Sheet
A2.1

Photos

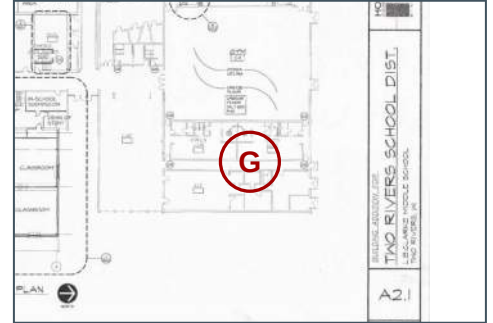


G42: General

Description: Crack in CMU wall

Sheet
A2.1

Photos



G43: General

Description: Scratched door

Sheet
A2.1

Photos

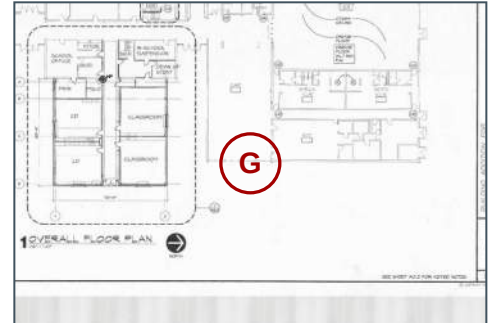


G44: General

Description: Caulk needed at window

Sheet
A2.1

Photos



G45: General

Description: Gap between rubber transition

Sheet
A2.1

Photos

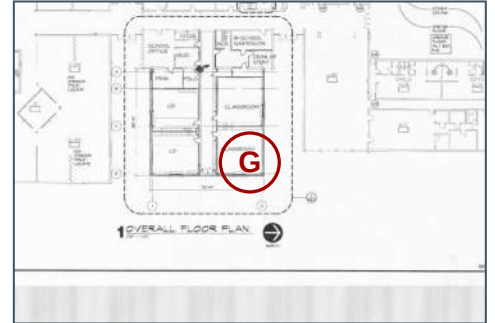


G46: General

Description: Missing wall base

Sheet
A2.1

Photos



G47: General

Description: Warped ACT

Sheet
A2.1

Photos



G48: General

Description: Scuffs in casework

Sheet
A2.1

Photos

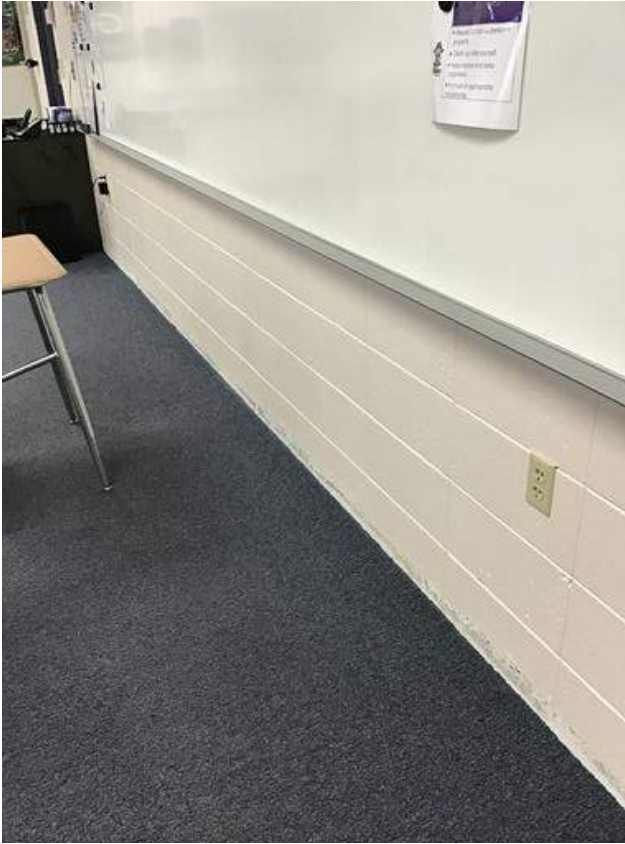


G49: General

Description: Missing wall base

Sheet
A2.1

Photos



G50: General

Description: Stained carpet

Sheet
A2.1

Photos



G51: General

Description: Warped and stained ACT

Sheet
A2.1

Photos



G52: General

Description: Window needs caulking

Sheet
A2.1

Photos



G53: General

Description: Damaged cabinetry

Sheet
A2.1

Photos



G54: General

Description: Stained ACT

Sheet
A2.1

Photos



G55: General

Description: Cracks at the door entry way and door damages

Sheet
A2.1

Photos



G56: General

Description: Missing rubber base

Sheet
A2.1

Photos

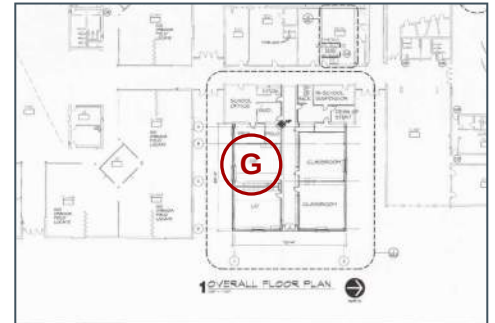


G57: General

Description: Chipped P-Lam

Sheet
A2.1

Photos

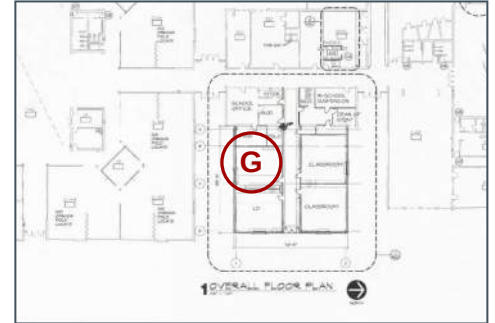


G58: General

Description: Window needs caulking

Sheet
A2.1

Photos



G59: General

Description: Cracks in VCT tile

Sheet
A2.1

Photos



G60: General

Description: Warped ACT tile

Sheet
A2.1

Photos



G61: General

Description: Holes in wall

Sheet
A2.1

Photos



G62: General

Description: Scratched cabinetry

Sheet
A2.1

Photos



G63: General

Description: Wall scratches

Sheet
A2.1

Photos



G64: General

Description: Windows need to be caulked

Sheet
A2.1

Photos



G65: General

Description: Scratched door

Sheet
A2.1

Photos



G66: General

Description: Space between wall and brick, needs caulking

Sheet
A2.1

Photos



G67: General

Description: Upgrade floor transition

Sheet
A2.1

Photos



G68: General

Description: Damaged window frame

Sheet
A2.1

Photos



G69: General

Description: Stained flooring

Sheet
A2.1

Photos



G70: General

Description: Chipped paint on heater

Sheet
A2.1

Photos



G71: General

Description: Scratched door

Sheet
A2.1

Photos

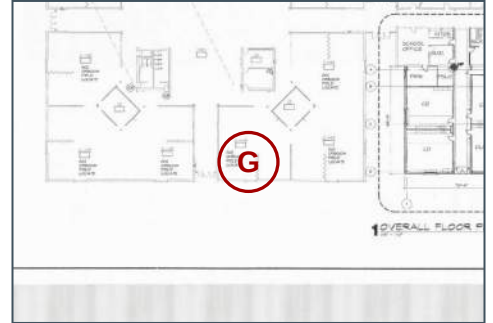


G72: General

Description: Scratched closet

Sheet
A2.1

Photos



G73: General

Description: Stained floor carpet

Sheet
A2.1

Photos

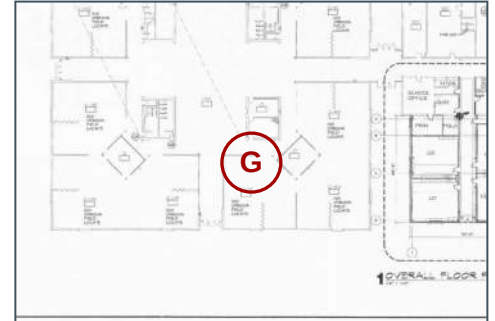


G74: General

Description: Lights do not work

Sheet
A2.1

Photos



G75: General

Description: Wall paint is bubbled

Photos



G76: General

Description: Corner bricks are chipped

Sheet
A2.1

Photos



G77: General

Description: Stained ceiling due to potential leaks

Sheet
A2.1

Photos

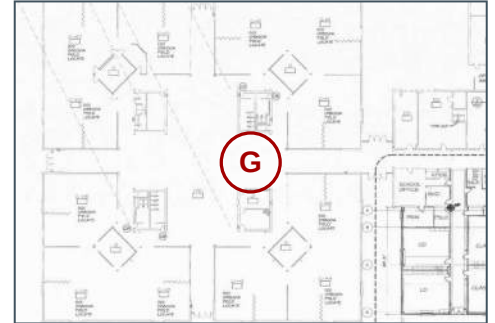


G78: General

Description: Wood panels scratched

Sheet
A2.1

Photos

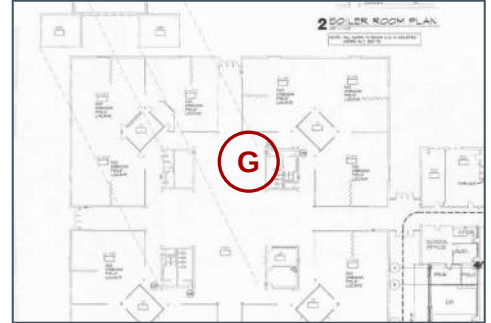


G79: General

Description: Caulk needed around panels

Sheet
A2.1

Photos

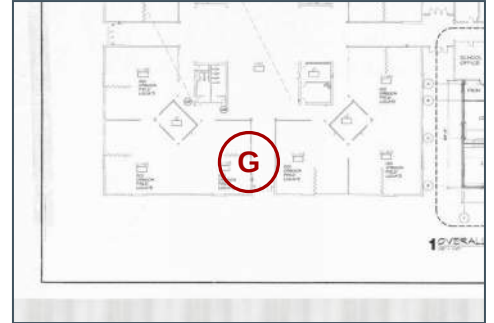


G80: General

Description: Damaged door frame at bottom

Sheet
A2.1

Photos

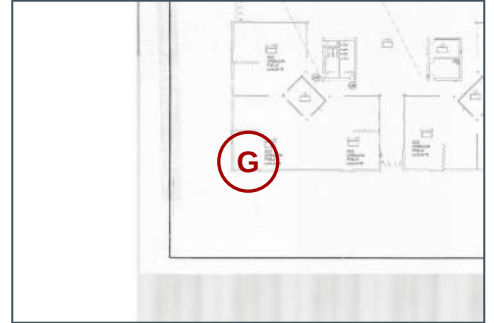


G81: General

Description: Window caulking needed

Sheet
A2.1

Photos

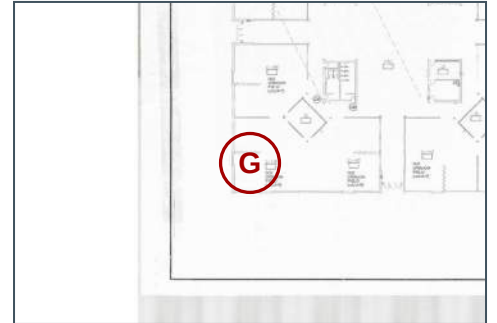


G82: General

Description: Scratches on wall

Sheet
A2.1

Photos



G83: General

Description: Caulking needed at window

Photos



G84: General

Description: Stained ACT

Sheet
A2.1

Photos

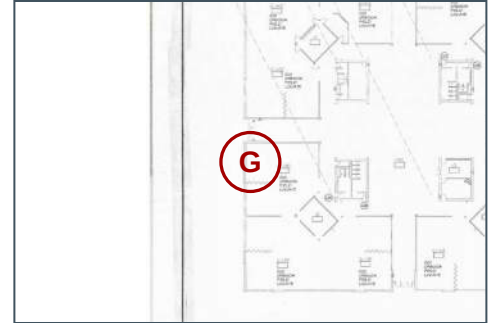


G85: General

Description: Scratched door frames and doors

Sheet
A2.1

Photos

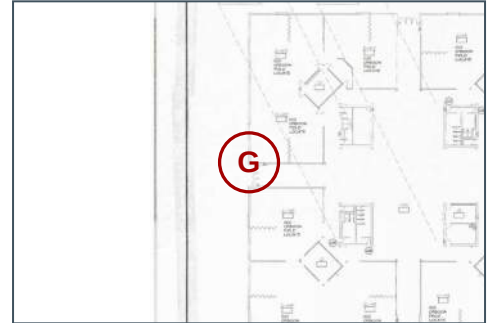


G86: General

Description: Rusting at door panels

Sheet
A2.1

Photos

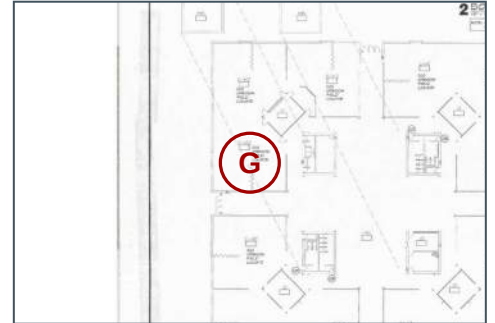


G87: General

Description: Wall damages/scratches and mismatching paint

Sheet
A2.1

Photos



G88: General

Description: Damaged and stained ACT

Sheet
A2.1

Photos



G89: General

Description: Scratched cabinetry

Sheet
A2.1

Photos



G90: General

Description: Rusted door panels

Sheet
A2.1

Photos



X1: Exterior

Description: Scratched and rusted door

Sheet
A2.1

Photos



X2: Exterior

Description: Caulking needed at top of exterior wall

Sheet
A2.1

Photos



X3: Exterior

Description: Damaged window screens and window needs caulking

Sheet
A2.1

Photos



X4: Exterior

Description: Damaged window screens

Sheet
A2.1

Photos



X5: Exterior

Description: Caulking required at all exterior windows

Sheet
A2.1

Photos

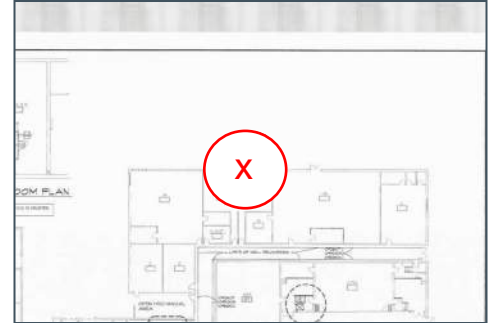


X6: Exterior

Description: Damaged window screens

Sheet
A2.1

Photos

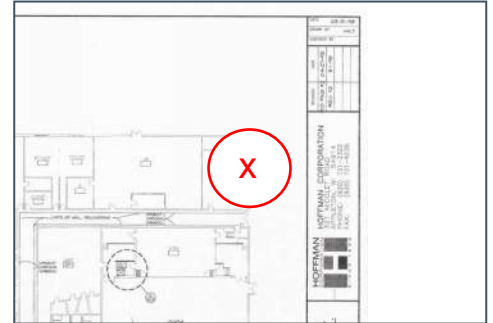


X7: Exterior

Description: Damaged window frames

Sheet
A2.1

Photos

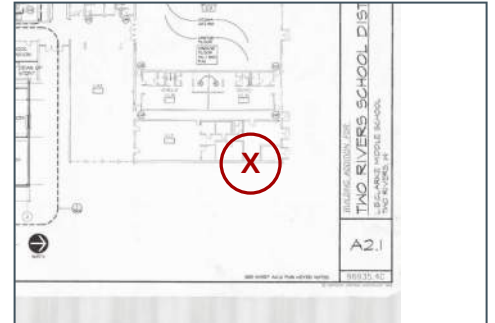


X8: Exterior

Description: Chipped brick

Sheet
A2.1

Photos

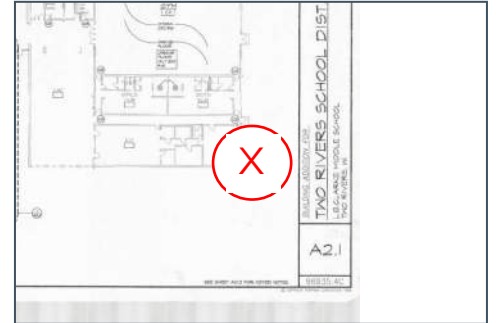


X9: Exterior

Description: Weathered storage shed

Sheet
A2.1

Photos

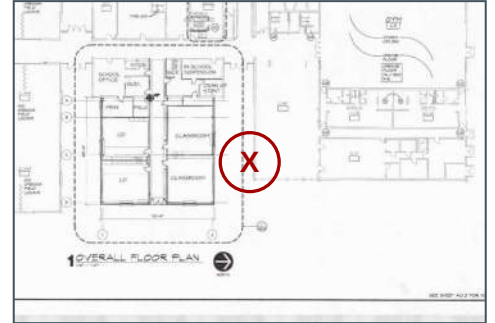
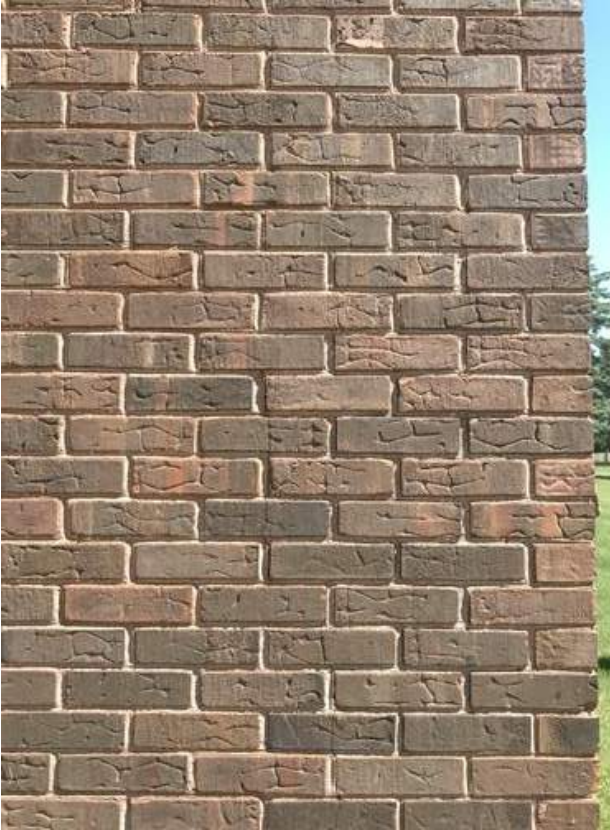


X10: Exterior

Description: All exterior brick joints to be redone in 2-5 years with new mud

Sheet
A2.1

Photos

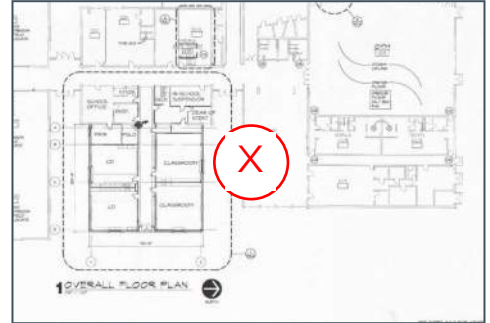


X11: Exterior

Description: Joint to be redone and bottom sill to receive caulk

Sheet
A2.1

Photos

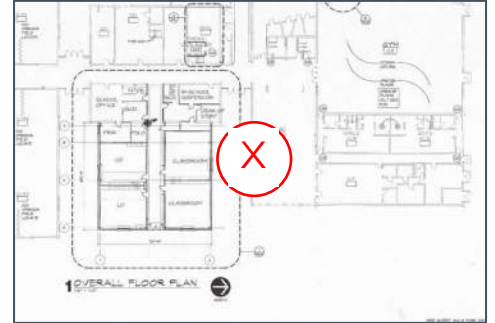


X12: Exterior

Description: All exterior speaker covers are rusted and discolored

Sheet
A2.1

Photos



X13: Exterior

Description: Chipped exterior wall

Sheet
A2.1

Photos

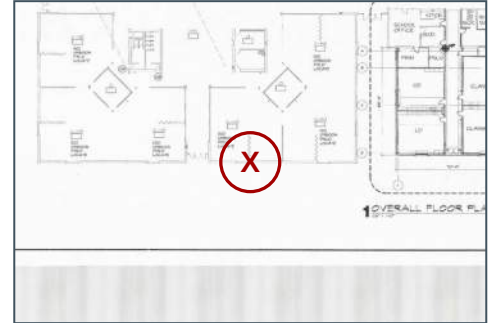


X14: Exterior

Description: General note:old and torn window screens around the building

Sheet
A2.1

Photos



X15: Exterior

Description: Caulk needed at bottom sills

Sheet
A2.1

Photos



X16: Exterior

Description: Speaker cover is rusted and discolored

Sheet
A2.1

Photos

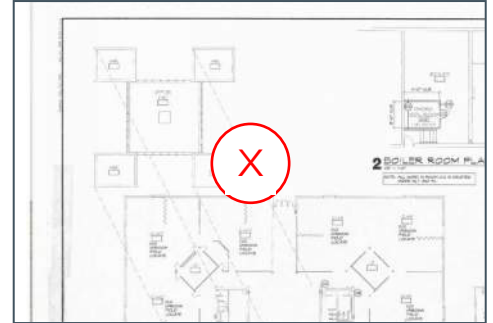


X17: Exterior

Description: All metal panels around exterior of building needs to be replaced and caulked

Sheet
A2.1

Photos



R1: Roof

Description: Rusted vent

Photos



R2: Roof

Description: Caulk needed at metal panels

Photos



R3: Roof

Description: Caulk needed at solid stone

Photos





**L.B. Clarke Middle School
Facilities Assessment
July 2021**



R4: Roof

Description: Modified roof 5-8 years left

Photos



R5: Roof

Description: Duro-Last roof 5 years left

Photos



R6: Roof

Description: Ballast roof 5 years left

Photos



S1: Site Work

Description: Cracked concrete sidewalk

Sheet
A2.1

Photos

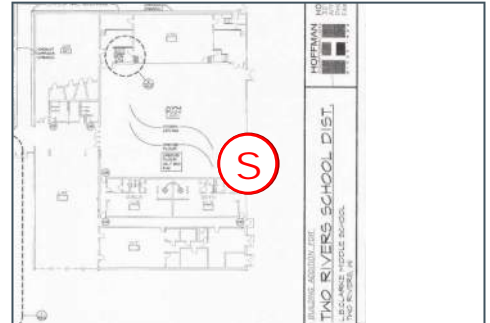


S2: Site Work

Description: Asphalt is settling below concrete stoop

Sheet
A2.1

Photos

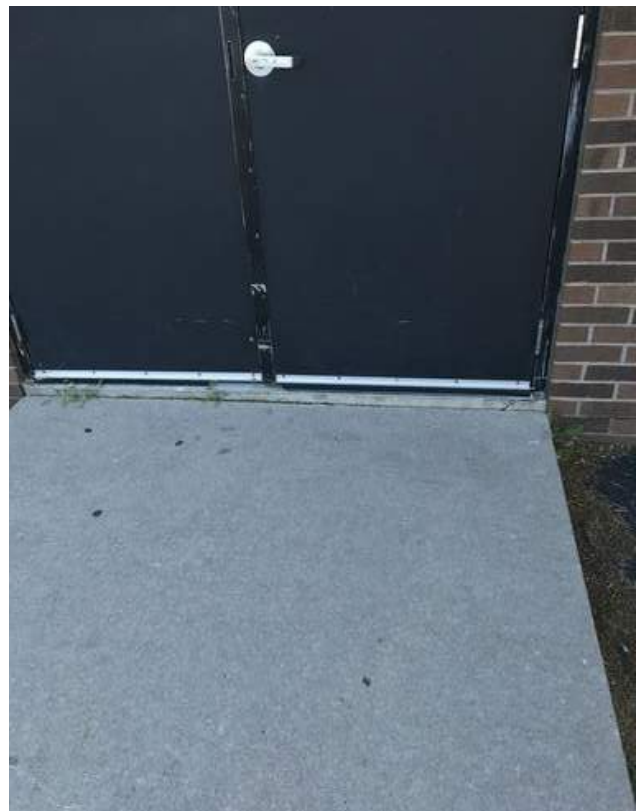
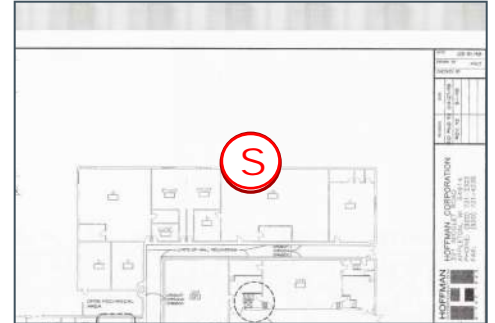


S3: Site Work

Description: Asphalt is settling below concrete

Sheet
A2.1

Photos

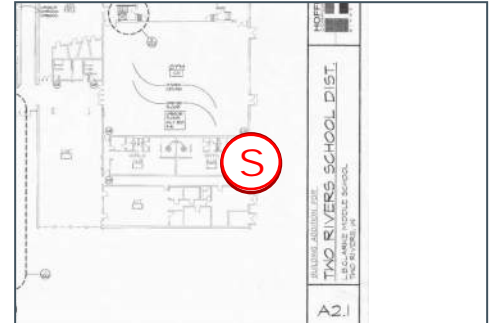


S4: Site Work

Description: Cracked concrete

Sheet
A2.1

Photos



S5: Site Work

Description: Stained concrete sidewalk

Sheet
A2.1

Photos



S6: Site Work

Description: Crack at the front parking lot, 2-5 years left

Photos





**L.B. Clarke Middle School
Facilities Assessment
July 2021**



S7: Site Work

Description: Cracks at the back parking lot, 2-5 years left

Photos





**L.B. Clarke Middle School
Facilities Assessment
July 2021**



F1: Fire Protection

Description: Ansul fire protection for kitchen hood

No photos available

F2: Fire Protection

Description: Add fire protection/sprinklers to entire school

No photos available

M1: Mechanical

Description: Tears in pipe insulation

Sheet
A2.1

Photos





**L.B. Clarke Middle School
Facilities Assessment
July 2021**



M2: Mechanical

Description: Replace (2) old gym AHU's

No photos available

M3: Mechanical

Description: Replace dust collector

No photos available

M4: Mechanical

Description: New dust distribution

No photos available

M5: Mechanical

Description: Replace penthouse AHU's

No photos available

M6: Mechanical

Description: Add AC in IT closet

No photos available

M7: Mechanical

Description: Add air conditioning to entire building

No photos available

E1: Electrical

Description: Missing cover on outdoor receptacle

Sheet
A2.1

Photos

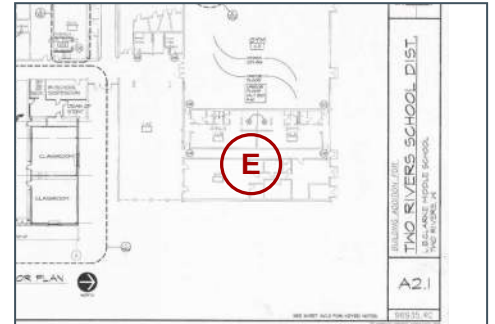


E2: Electrical

Description: Missing electrical box cover

Sheet
A2.1

Photos

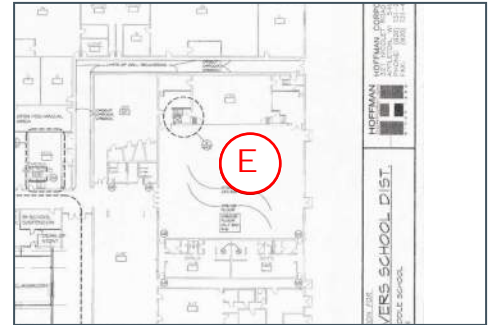


E3: Electrical

Description: Missing cover on electrical box

Sheet
A2.1

Photos

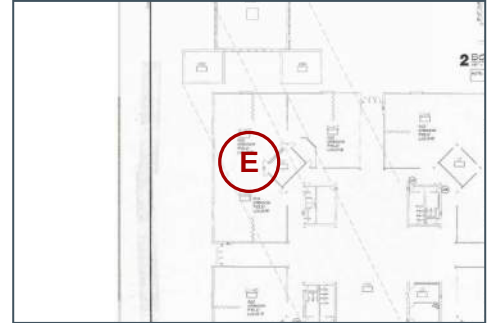


E4: Electrical

Description: Cables running through unfinished wall hole

Sheet
A2.1

Photos





**L.B. Clarke Middle School
Facilities Assessment
July 2021**



E5: Electrical

Description: Missing cover on outdoor receptacle

No photos available

E6: Electrical

Description: Upgrade incoming electrical power

No photos available

E7: Electrical

Description: Upgrade fiber cabling in school

No photos available

E8: Electrical

Description: Cable labeling

No photos available

E9: Electrical

Description: New voice over evac fire alarm

No photos available

E10: Electrical

Description: LED Lighting

No photos available

E11: Electrical

Description: Replace fire alarm system

No photos available

TWO RIVERS HIGH SCHOOL

Facilities Assessment

July 2021

Year Built: 2002



Building Sizes: Approximately 213,535 square feet

Current Enrollment: 522

Grade Levels: 9-12

GENERAL COMMENTS FACILITIES

In general, the building is in good condition and is well maintained. The envelope has minor issues that require correction. Caulking is required at all exterior windows. All the lintels need to be painted above the windows. Caulking and tuck pointing is required at miscellaneous places around the brick.

There is a lot of cracking on the back and front parking lot. The back parking lot behind the school shows signs of water coming up. The concrete sidewalks and asphalt are settling below the stoops, which is a sign of poor sub-grade. All the concrete sidewalks and surrounding asphalt should be replaced. There are definite signs of a high-water table surrounding the high school, further investigation should take place.

There seems to be a water issue. Water is coming up through the floor in the Auditorium, and there is noticeable moisture in the floor and exterior wall. Classrooms are in good shape. A



Two Rivers Public Schools Facilities Assessment July 2021



common condition includes the interior of the windows needing caulk. Also, there are multiple areas where the ceiling tile is stained, or the floor is cracked.

The school is not protected by wet pipe sprinkler system. If a future renovation project touches over 50% of the overall square footage a new wet pipe sprinkler system may be required for the entire school.

A roof inspection was performed by Security-Luebke Roofing which breaks down the roof into 17 different sections and assigns a grade ranging from B to F. Even though the roof is in various stages of life expectancy we would recommend a full replacement in the next 2 years.

Overall plumbing system is in good shape. Bathrooms are ADA compliant and have been recently updated with automatic sensors on plumbing fixtures, automatic hand driers, mirrors, and dividers. Domestic hot water heaters are in good shape.

HVAC head end equipment is original to the building (2002). Building Air Handling Units have 5-10 years for useful life before upgrades to internal components (motors, fans, drives) will need to be replaced. Building chillers are at the end of their useful life and should be replaced within 5 years. Boilers and piping are in good condition and have 10 years of useful life before they should start to be replaced. Overall HVAC is in good condition and well maintained but most systems will be getting to the end of useful life so phased upgrades should start within 5-10 years. We also recommend adding air conditioning to spaces that are currently not air conditioned.

Electrical overall capacity is in good condition. IT cabling and proper labeling should be addressed. Some low voltage systems like security and phone/PA systems are becoming dated due to advances in technology and should consider upgrades. LED lighting should be added to reduce energy consumption. New voice over evac fire alarm should be added to the entire school.



Two Rivers Public Schools Facilities Assessment July 2021



GENERAL COMMENTS MAINTENANCE BUILDING

The Maintenance Building was built at the same time as the high school with an addition built 3 years ago. The site issues include cracked asphalt and standing water behind the building. The metal exterior has dents. Interior issues include stained tiles in the office section. There are cracks in the concrete and scuffs on the wall and ceiling.

GENERAL COMMENTS CONCESSION BUILDING

The Concession Building has site issues including settling asphalt around the building and bollards that need paint. Exterior door is scratched, and the shingled roof has approximately 5 years of remaining life. Electrical issues include a rusted panel.



Two Rivers High School Facilities Assessment July 2021



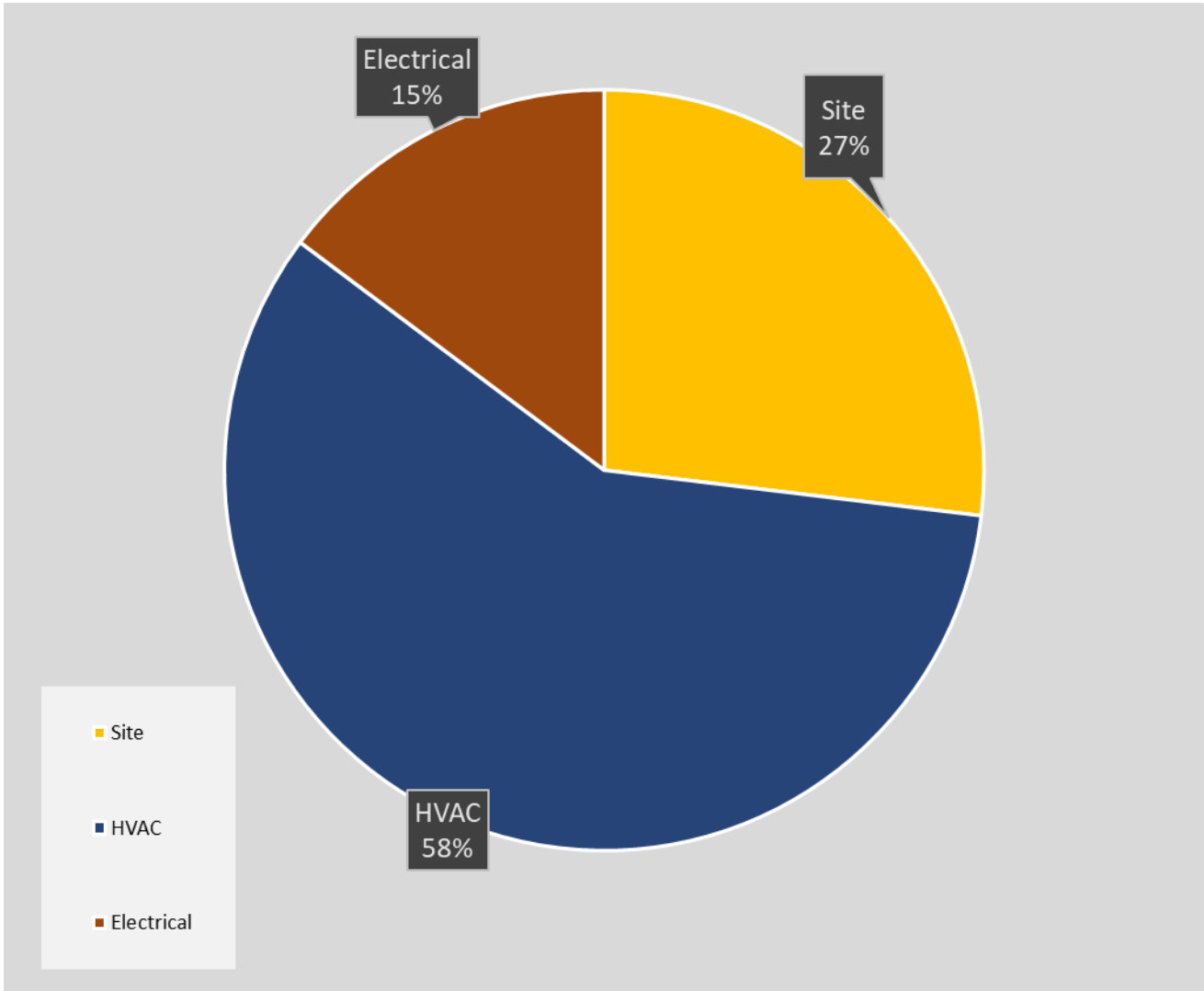
Summary of Maintenance Needs

2021 Facility Assessment Summary				
Building System	1 year (w/ inflation)	2-5 years (w/ inflation)	6-10 years (w/ inflation)	Subtotal
General Building Issues	\$ -	\$ -	\$ -	\$ -
Roofing Issues	\$ -	\$ -	\$ -	\$ -
Exterior Issues	\$ -	\$ -	\$ -	\$ -
Site/Parking Lot Issues	\$ 36,595	\$ 1,600,314	\$ -	\$ 1,636,908
Fire Protection Issues	\$ -	\$ -	\$ -	\$ -
Plumbing Issues	\$ -	\$ -	\$ -	\$ -
Mechanical Issues	\$ 566,284	\$ 2,981,021	\$ -	\$ 3,547,305
Electrical Issues	\$ -	\$ 899,004	\$ -	\$ 899,004
SUM BUILDING	\$ 602,878	\$ 5,480,339	\$ -	\$ 6,083,218

General Observations:

1. The budgets developed for this report are for the purposes of prioritizing and decision making. Due to the nature of the items observed, the full extent of repair and/or replacement cannot be ascertained without deconstructing spaces in which they were found. Upon prioritization of issues to be resolved, we will investigate fully and provide complete engineered solutions with finalized costs for final review/approval. During inspection spaces were not inspected for Hazardous Materials such as lead paint, asbestos, etc. CG Schmidt, Inc. has made every reasonable effort to review the spaces available to us and to assign budgets that reflect cosmetic solution for the items found.

Summary of Maintenance Needs





**2021 TWO RIVERS PUBLIC SCHOOLS
FACILITIES ASSESSMENT
4519 Lincoln Avenue
Two Rivers High School
July 2021**



		2%	2022	2023-2026	2027-2031
Item #	Description	Year (w/ 2% inflation)	1 Year	2-5 Years	6-10 Years
General Building Replacement or Repairs					
G1 - G61 Included in district maintenance plan					
Roof Replacement or Repairs					
R1 - R3 Included in district maintenance plan					
Exterior Replacement or Repairs					
X1 - X17 Included in district maintenance plan					
Site Replacement or Repairs					
S1	Asphalt is cracking and settling below concrete stoop	2022	\$ 4,530	\$ -	\$ -
S2	Concrete cracking and settling	2022	\$ 2,718	\$ -	\$ -
S3	Asphalt settled below concrete stoop	2022	\$ 4,530	\$ -	\$ -
S4	Concrete settled below stoop	2022	\$ 7,047	\$ -	\$ -
S5	Asphalt cracks in the parking area (front parking lot)	2023	\$ -	\$ 554,127	\$ -
S6	Water coming up through cracks in asphalt (back parking lot)	2023	\$ -	\$ 1,046,186	\$ -
S7	Tennis court floor cracks with floor stains	2022	\$ 17,769	\$ -	\$ -
Fire Protection Replacement or Repairs					
F1 Included in district maintenance plan					
Mechanical/HVAC Replacement or Repairs					
M2	Replace two chillers	2022	\$ 566,284	\$ -	\$ -
M3	AC for tech ed space	2026	\$ -	\$ 129,403	\$ -
M9	Add air conditioning to entire building	2025	\$ -	\$ 2,851,618	\$ -
Electrical Replacement or Repairs					
E2	Upgrade fiber cabling in school	2026	\$ -	\$ 138,425	\$ -
E3	Cable labeling	2026	\$ -	\$ 47,675	\$ -
E7	Replace fire alarm system	2025	\$ -	\$ 712,904	\$ -



**2021 TWO RIVERS PUBLIC SCHOOLS
 FACILITIES ASSESSMENT
 4519 Lincoln Avenue
 Two Rivers High School
 July 2021**



Item #	Description	2%	2022	2023-2026	2027-2031
		Year (w/ 2% inflation)	1 Year	2-5 Years	6-10 Years
Two Rivers High School Total		w/ Inflation:	\$ 602,878	\$ 5,480,339	\$ -

Key

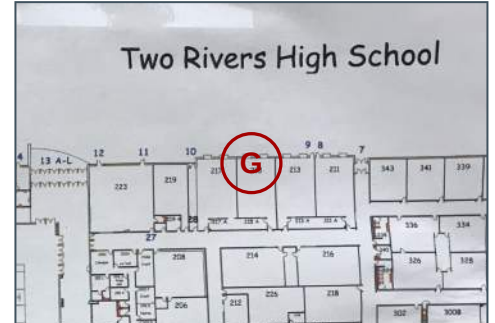
- G General Building Issues
- R Roofing Issues
- X Exterior Issues
- S Site Work Issues
- F Fire Protection Issues
- P Plumbing Issues
- M Mechanical Issues
- E Electrical Issues

G1: General

Description: Signs of moisture damage

Sheet
High School Floor Plan

Photos



G2: General

Description: Caulking needed at window

Photos



Sheet
High School Floor Plan



G3: General

Description: Stained ceiling

Photos



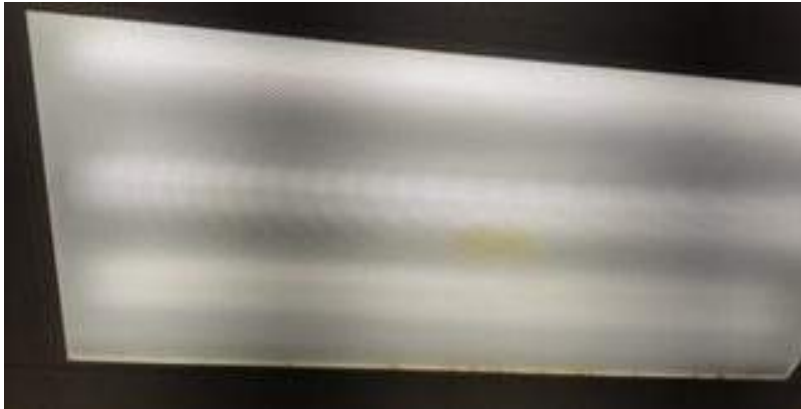
Sheet
High School Floor Plan



G4: General

Description: Stained lighting

Photos



Sheet
High School Floor Plan



G5: General

Description: Stained ceiling tile

Sheet
High School Floor Plan

Photos



G6: General

Description: Stained ACT

Sheet
High School Floor Plan

Photos



G7: General

Description: Stained ceiling tile

Sheet
High School Floor Plan

Photos



G8: General

Description: Stained ceiling tile grid

Photos



Sheet
High School Floor Plan



G9: General

Description: Stained ceiling tile

Sheet
High School Floor Plan

Photos



G10: General

Description: Stained ceiling tile

Photos



Sheet
High School Floor Plan



G11: General

Description: Stained ceiling tile

Photos



Sheet
High School Floor Plan

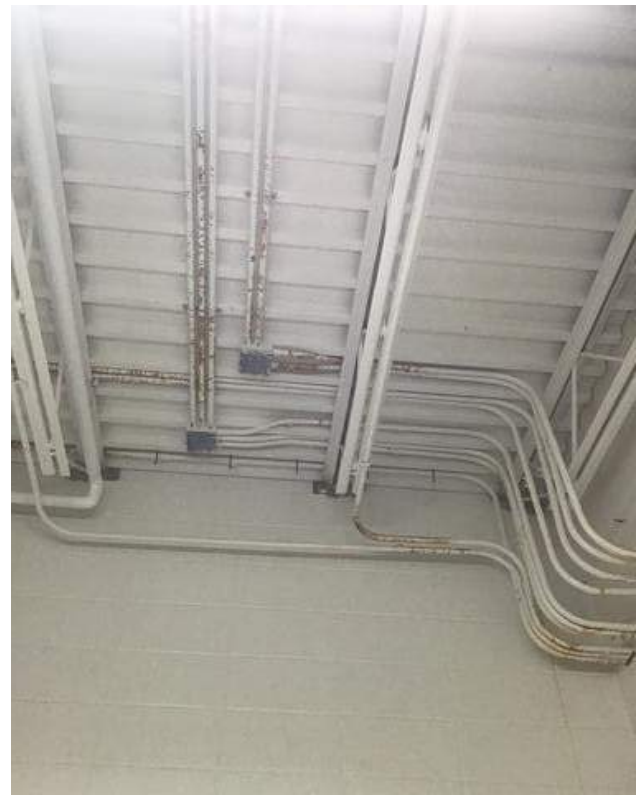
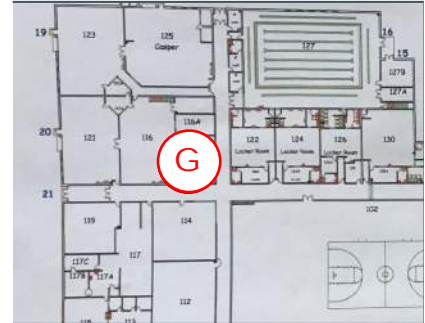


G12: General

Description: Rusted conduit

Sheet
High School Floor Plan

Photos



G13: General

Description: Damaged ceiling

Sheet
High School Floor Plan

Photos



G14: General

Description: Damaged ACT

Sheet
High School Floor Plan

Photos



G15: General

Description: Stained ACT

Sheet
High School Floor Plan

Photos



G16: General

Description: Damaged shower curtains

Sheet
High School Floor Plan

Photos



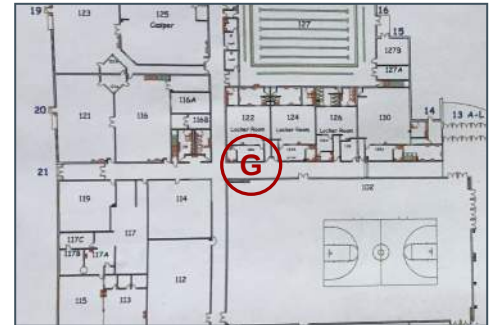
G17: General

Description: Stained ceiling grid

Photos



Sheet
High School Floor Plan



G18: General

Description: Cracked tile

Photos



Sheet
High School Floor Plan



G19: General

Description: Cracked floor tile

Photos



Sheet
High School Floor Plan



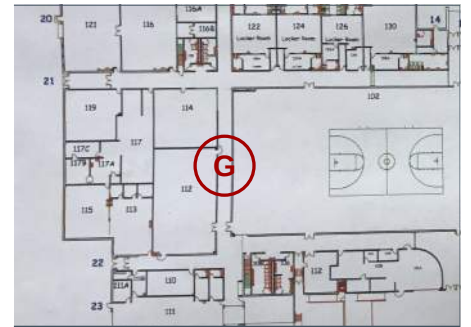
G20: General

Description: Cracked floor

Photos



Sheet
High School Floor Plan



G21: General

Description: Stained ceiling

Photos



Sheet
High School Floor Plan



G22: General

Description: Hole in wall and chipped corner

Photos



Sheet
High School Floor Plan



G23: General

Description: Cracked and stained floor

Sheet
High School Floor Plan

Photos



G24: General

Description: Wall cracks

Sheet
High School Floor Plan

Photos



G25: General

Description: Stained ceiling grid

Sheet
High School Floor Plan

Photos



G26: General

Description: Bent vent

Photos



Sheet
High School Floor Plan



G27: General

Description: Cracks in wall

Sheet
High School Floor Plan

Photos



G28: General

Description: Stained ACT due to potential leaks

Photos



Sheet
High School Floor Plan



G29: General

Description: Stained ACT

Sheet
High School Floor Plan

Photos



G30: General

Description: Hanging/loose ACT

Photos



Sheet
High School Floor Plan



G31: General

Description: Crack in wall

Photos



Sheet
High School Floor Plan



G32: General

Description: Crack in concrete floor

Photos



Sheet
High School Floor Plan



G33: General

Description: Missing ACT tile

Photos

Sheet
High School Floor Plan



G34: General

Description: Scratched and worn floor

Photos



Sheet
High School Floor Plan



G35: General

Description: Stained ACT

Photos



Sheet
High School Floor Plan



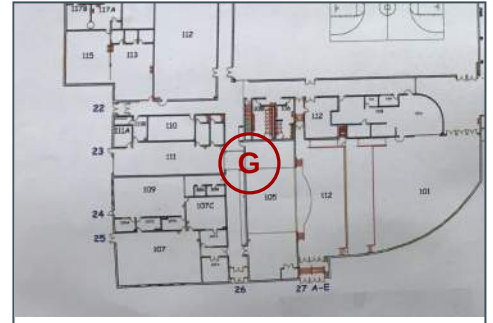
G36: General

Description: Crack at corner of wall

Photos



Sheet
High School Floor Plan



G37: General

Description: Peeling wall paint

Photos



Sheet
High School Floor Plan



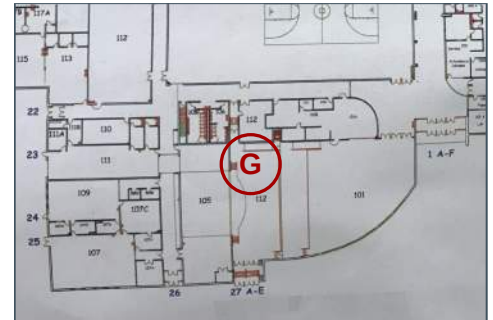
G38: General

Description: Damaged trim at flooring

Photos



Sheet
High School Floor Plan



G39: General

Description: Chipped paint at corner of wall

Photos



Sheet
High School Floor Plan

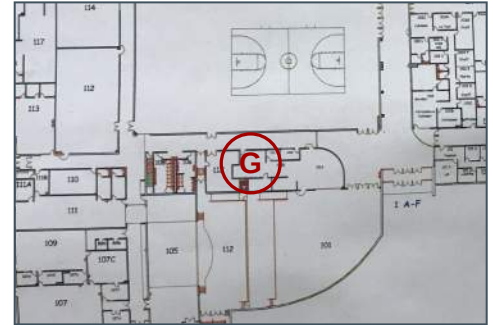


G40: General

Description: Stained ceiling grid

Sheet
High School Floor Plan

Photos

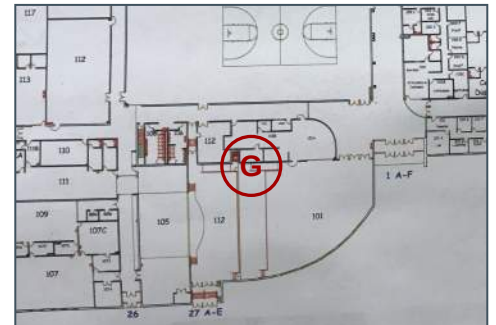


G41: General

Description: Cracked concrete

Sheet
High School Floor Plan

Photos



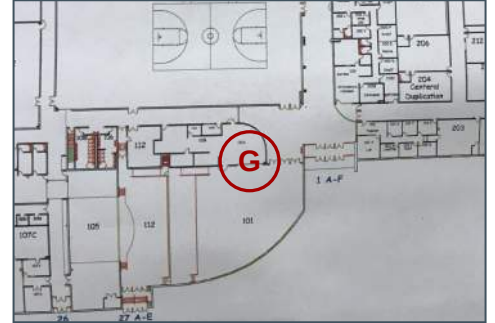
G42: General

Description: Damaged flooring

Photos



Sheet
High School Floor Plan



G43: General

Description: Moisture in carpet

Photos



Sheet
High School Floor Plan



G44: General

Description: Wall base damage and chipped paint

Sheet
High School Floor Plan

Photos



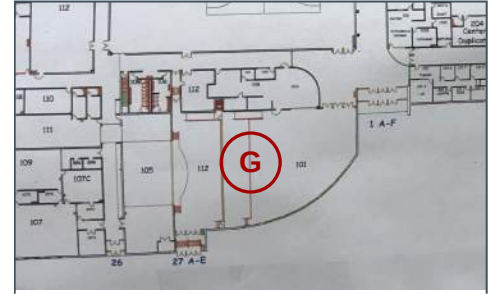
G45: General

Description: Stained wall

Photos



Sheet
High School Floor Plan



G46: General

Description: Current pump to keep water level below building

Photos



Sheet
High School Floor Plan

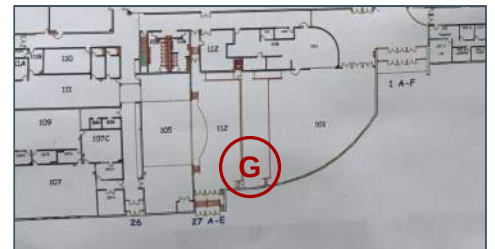


G47: General

Description: Stains and moisture in carpet

Sheet
High School Floor Plan

Photos



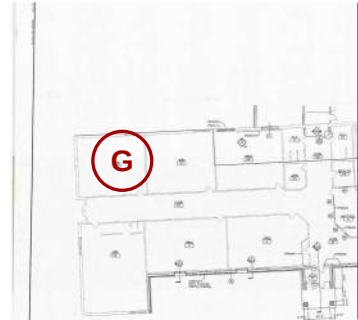
G48: General

Description: Scratches on floor

Photos



Sheet
High School Floor Plan

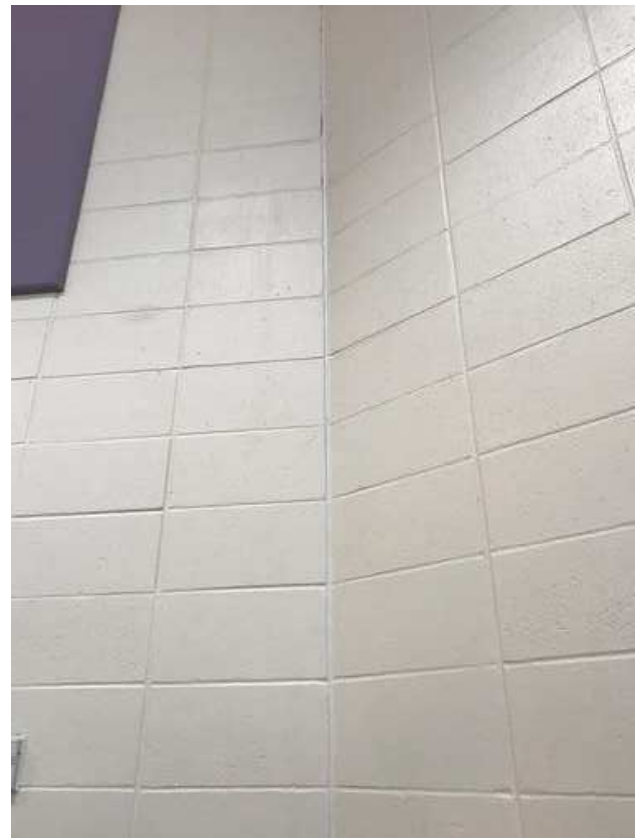
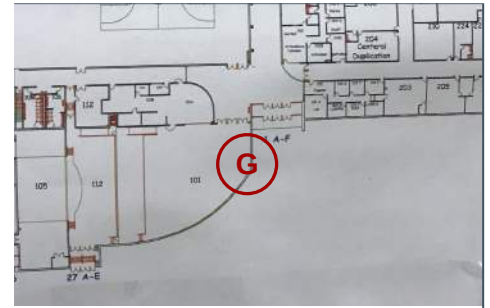


G48: General

Description: Crack on the wall

Sheet
High School Floor Plan

Photos

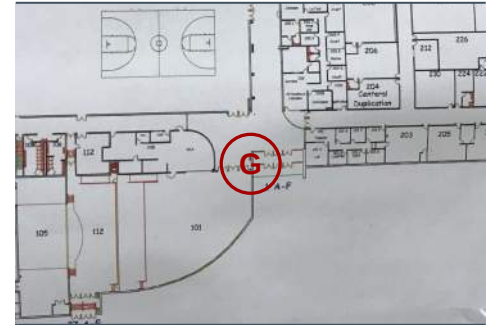


G50: General

Description: Wall cracks

Sheet
High School Floor Plan

Photos

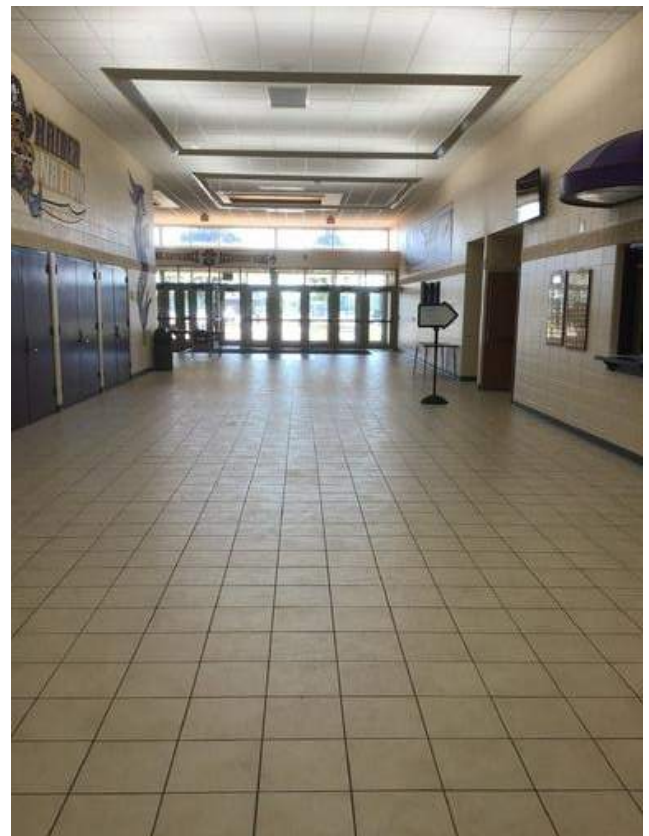
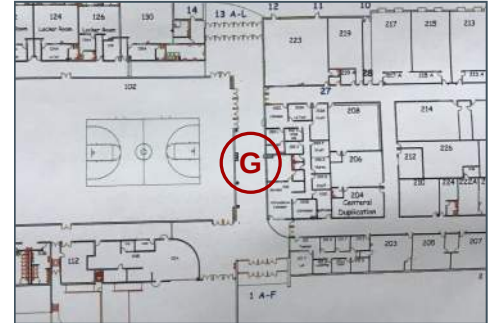


G51: General

Description: Cracked floor tile in the hallway area

Sheet
High School Floor Plan

Photos

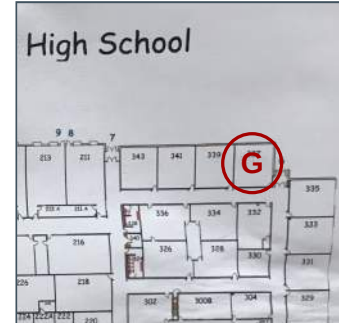


G52: General

Description: Cracked floor tile

Sheet
High School Floor Plan

Photos

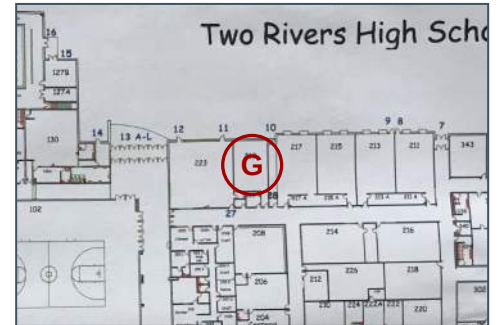


G53: General

Description: Drywall work

Sheet
High School Floor Plan

Photos

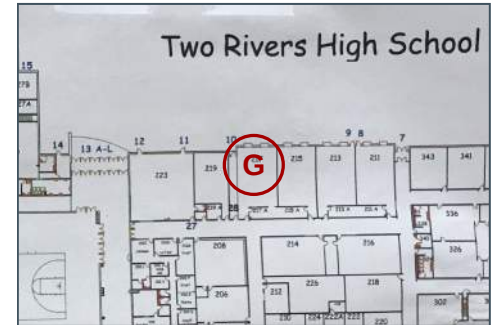


G54: General

Description: Stained ACT

Sheet
High School Floor Plan

Photos



G55: General

Description: Stained ceiling

Sheet
High School Floor Plan

Photos



G56: General

Description: Holes in counter top

Sheet
High School Floor Plan

Photos



G57: General

Description: Caulking needed at window

Photos



Sheet
High School Floor Plan



G58: General

Description: Caulking needed at window

Photos



Sheet
High School Floor Plan

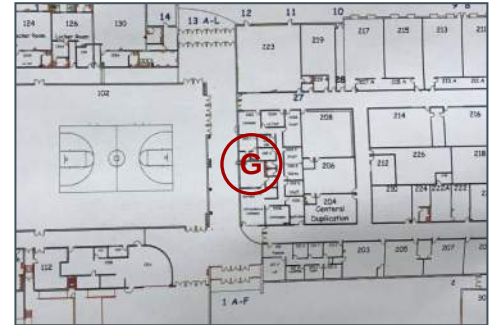


G59: General

Description: Stained ceiling

Sheet
High School Floor Plan

Photos



G60: General

Description: Stained ACT

Photos



Sheet
High School Floor Plan



G61: General

Description: Stained ACT

Sheet
High School Floor Plan

Photos



R1: Roof

Description: Pillowing at parapet

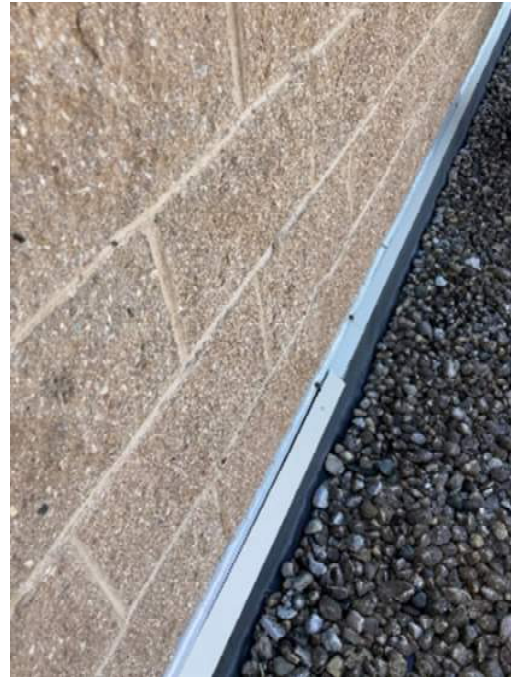
Photos



R2: Roof

Description: Bent and damaged flashing

Photos





Two Rivers High School Facilities Assessment July 2021



R3: Roof

Description: Replace roof

No photos available

X1: Exterior

Description: Mortar cracked and missing at CMU

Photos



Sheet
High School Floor Plan

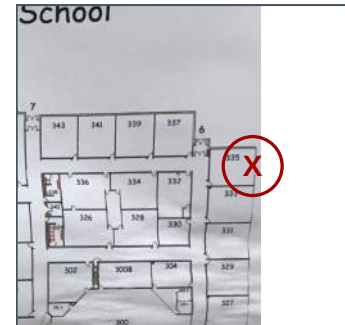


X2: Exterior

Description: Joints need caulking at exterior wall

Sheet
High School Floor Plan

Photos



X3: Exterior

Description: Large joint between concrete slabs. Missing mortar at CMU

Photos



X4: Exterior

Description: Bird nests and dirt in some exterior parts of the building

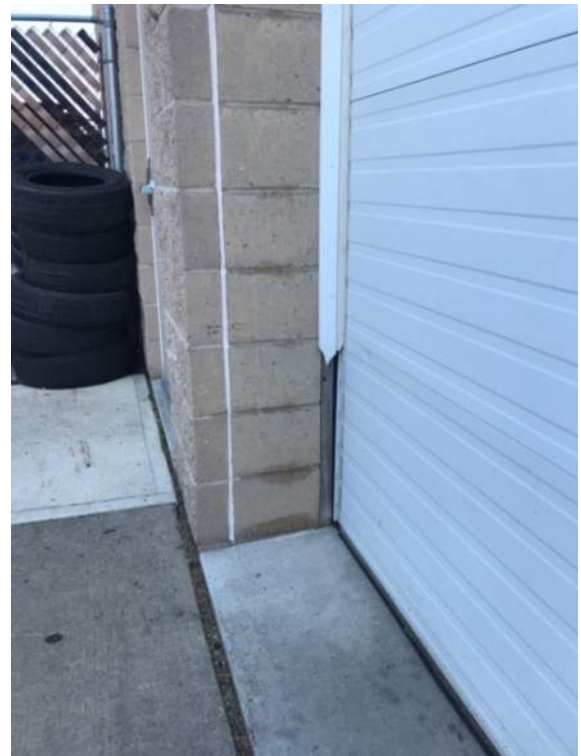
Photos



X5: Exterior

Description: Caulking needed at CMU, garage door seal is broken

Photos



X6: Exterior

Description: Paint on the brick wall

Sheet
High School Floor Plan

Photos



X7: Exterior

Description: Stain on CMU

Photos



X8: Exterior

Description: Mortar needed at joint of CMU

Photos



X9: Exterior

Description: Mortar cracked and missing at CMU

Photos



X10: Exterior

Description: Large joint between concrete sidewalk and CMU wall

Photos



X11: Exterior

Description: Caulking needed above door

Photos



X12: Exterior

Description: Lintels above all windows and doorways require painting

Photos



X13: Exterior

Description: Damaged door

Photos



X14: Exterior

Description: Caulking needed at joint

Photos



X15: Exterior

Description: Cracks in brick

Photos



X16: Exterior

Description: Damages at doorway

Photos



X17: Exterior

Description: Lintels need to be painted above all windows

Photos



S1: Site Work

Description: Asphalt is cracking and settling below concrete stoop

Photos



Sheet
High School Floor Plan



S2: Site Work

Description: Concrete cracking and settling

Photos



S3: Site Work

Description: Asphalt settled below concrete stoop

Photos



S4: Site Work

Description: Concrete settled below stoop

Photos



S5: Site Work

Description: Asphalt cracks in the front parking lot

Photos



S6: Site Work

Description: Water coming up through cracks in asphalt, back parking lot

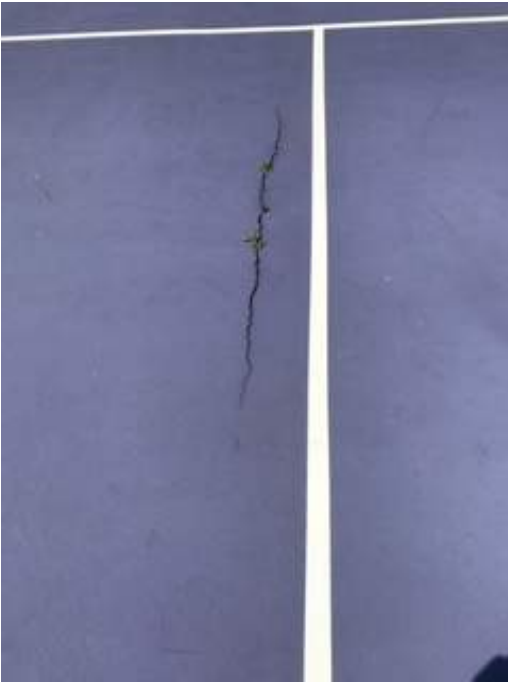
Photos



S7: Site Work

Description: Tennis court floor cracks with floor stains

Photos





Two Rivers High School Facilities Assessment July 2021



F1: Fire Protection

Description: Add fire protection/sprinklers to entire school

No photos available



Two Rivers High School Facilities Assessment July 2021



M1: Mechanical

Description: Add fire protection/sprinklers to entire school

No photos available

E1: Electrical

Description: Missing receptacle cover

Photos





Two Rivers High School Facilities Assessment July 2021



E2: Electrical

Description: Upgrade fiber cabling in school

No photos available

E3: Electrical

Description: Cable labeling

No photos available

E4: Electrical

Description: New clock/PA system and integrate with fire alarm system

No photos available

E5: Electrical

Description: New fire alarm system

No photos available

E6: Electrical

Description: LED lighting

No photos available

E7: Electrical

Description: Replace fire alarm system

No photos available



Maintenance Building Facilities Assessment July 2021



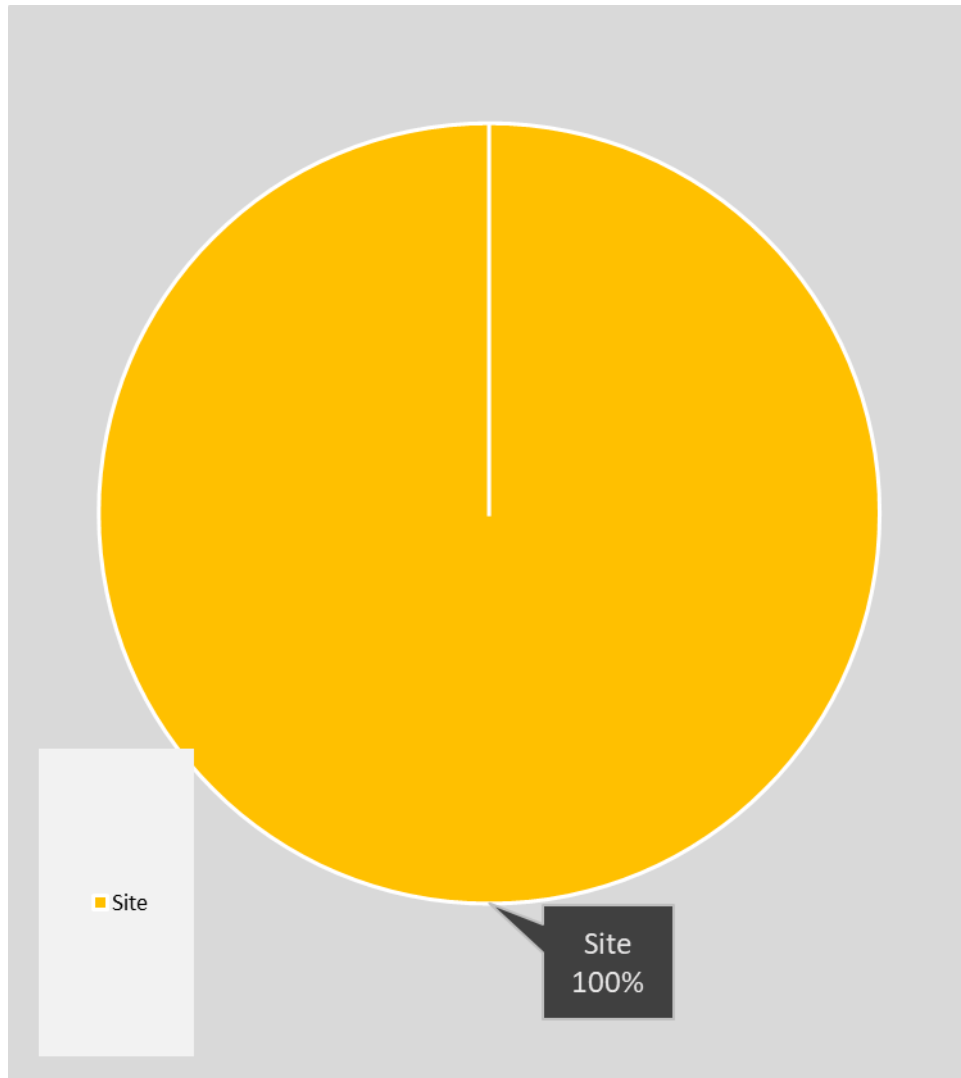
Summary of Maintenance Needs

2021 Facility Assessment Summary				
Building System	1 year (w/ inflation)	2-5 years (w/ inflation)	6-10 years (w/ inflation)	Subtotal
General Building Issues	\$ -	\$ -	\$ -	\$ -
Roofing Issues	\$ -	\$ -	\$ -	\$ -
Exterior Issues	\$ -	\$ -	\$ -	\$ -
Site/Parking Lot Issues	\$ -	\$ 179,707	\$ -	\$ 179,707
Fire Protection Issues	\$ -	\$ -	\$ -	\$ -
Plumbing Issues	\$ -	\$ -	\$ -	\$ -
Mechanical Issues	\$ -	\$ -	\$ -	\$ -
Electrical Issues	\$ -	\$ -	\$ -	\$ -
SUM BUILDING	\$ -	\$ 179,707	\$ -	\$ 179,707

General Observations:

1. The budgets developed for this report are for the purposes of prioritizing and decision making. Due to the nature of the items observed, the full extent of repair and/or replacement cannot be ascertained without deconstructing spaces in which they were found. Upon prioritization of issues to be resolved, we will investigate fully and provide complete engineered solutions with finalized costs for final review/approval. During inspection spaces were not inspected for Hazardous Materials such as lead paint, asbestos, etc. CG Schmidt, Inc. has made every reasonable effort to review the spaces available to us and to assign budgets that reflect cosmetic solution for the items found.

Summary of Maintenance Needs





**2021 TWO RIVERS PUBLIC SCHOOLS
 FACILITIES ASSESSMENT
 4519 Lincoln Avenue
 Maintenance Building
 July 2021**



Item #	Description	2%	2022	2023-2026	2027-2031
		Year (w/ 2% inflation)	1 Year	2-5 Years	6-10 Years
General Building Replacement or Repairs					
G1 - G3 Included in district maintenance plan					
Exterior Replacement or Repairs					
X1 Included in district maintenance plan					
Site Replacement or Repairs					
S1	Cracked asphalt	2025	\$ -	\$ 175,303	\$ -
S2	Standing water behind maintenance shed	2025	\$ -	\$ 4,404	\$ -
Two Rivers HS Maintenance Shed Total		w/ Inflation:	\$ -	\$ 179,707	\$ -

Key

- G General Building Issues
- R Roofing Issues
- X Exterior Issues
- S Site Work Issues
- F Fire Protection Issues
- P Plumbing Issues
- M Mechanical Issues
- E Electrical Issues

G1: General

Description: Damaged walls and ceiling

Photos



G2: General

Description: Stained ceiling in the office room of the maintenance building

Photos



G3: General

Description: Cracks around drain

Photos



X1: Exterior

Description: Corner of metal dented

Photos



S1: Site Work

Description: Cracked asphalt

Photos



S2: Site Work

Description: Standing water behind maintenance shed

Photos

